

Village of Whitefish Bay, Wisconsin
Public Works Department
Preliminary Architectural and Engineering Services

5111 N. Lydell Avenue

Glendale, Wisconsin 53217



PREPARED BY



Project Number #22059

Report Date: April 28, 2025

A handwritten signature in black ink that reads "Corey DeToro".

Corey T. DeToro
Staff Engineer

A handwritten signature in black ink that reads "Robert J. Gosse".

Robert J. Gosse, AIA
Facility Services Group Leader

A handwritten signature in blue ink that reads "Christopher Carr".

Christopher T. Carr, PE
Vice President

A handwritten signature in black ink that reads "John Edlebeck".

John Edlebeck, P.E.
Municipal Group Leader

1. Introduction

The Sigma Group Inc. (Sigma) was contracted by the Village of Whitefish Bay in 2023 to provide Due Diligence and Planning Services for the existing Whitefish Bay Department of Public Works (DPW) service yard site located at 5111 N. Lydell Avenue. The scope of work entailed:

- Focused Phase I Environmental Site Assessment
- Condensed Property Condition Assessment
- Space Planning DPW Yard

The work was completed in late 2023, submitted for review, and accepted by the Village.

Sigma was subsequently contracted by the Village to provide Preliminary Architectural and Engineering Site Design of the Whitefish Bay Department of Public Works (DPW) service yard located at 5111 N. Lydell Avenue (Site). That contract consists of:

- Site Survey
- Existing Building Repair Planning
- Preliminary Architectural Design Development of Salt Storage Facility
- Preliminary Site Planning / Civil Engineering / Landscaping

The report for Site Survey and Existing Building Repair Planning was submitted in August 2024 and accepted by the Village.

This current report relates to:

Preliminary Architectural Design Development of Salt Storage Facility. The work scope for this element consists of preparing:

- Preliminary design development and basic architectural scope drawings
- Preliminary coordination and effort to prepare permits and approvals
- Preliminary cost estimate

Preliminary Site Planning. The work scope for this element consists of preparing:

- Preliminary design development of site civil drawings
- Preliminary coordination and effort to prepare permits and approvals
- Preliminary cost estimate

2. Project Scope

The Public Works facility, which is over 70 years old, is in need of improvements to provide for its continued use by the Public Works Department. During this phase, Sigma identified recommended site and facility improvements along with estimated costs. The improvements were designed to improve the longevity, functionality, and efficiency of Whitefish Bay's Public Works Department service yard site. Both an existing cold storage building remodel option as well as a new cold storage building replacement option had been prepared by Sigma along with the associated estimated costs. Both options provided for the efficient continued use of the site for Public Works operations. After some deliberation, the Village Public Works Committee recommended to the Village Board to proceed with the Cold Storage Remodel Option. The Village Board then took action to concur with that preferred option.

The Cold Storage Remodel Option includes the following improvements:

- Concrete block repairs, fire alarm and sprinkler installation improvements
- Partial building demolition
- Garage ventilation
- Garage door abandonment on the north face and door replacements on the south face
- Roof rehabilitation of the cold storage building
- Vehicle fuel storage and dispensing system
- Topsoil storage building repairs (trusses, siding, roofing)
- Storm drainage upgrade with green infrastructure stormwater management
- New salt storage building
- Asphalt and concrete pavement installation
- Driveway widening
- Perimeter fence repairs
- Site landscaping and lighting
- Outdoor stackable concrete block material storage

It should also be noted that for any of the above-mentioned improvements that would require the site soil to be disturbed, it is likely some degree of soil remediation will be required as a result of the findings outlined in the previous 2023 Focused Phase I Environmental Site Assessment (ESA) completed by Sigma. The full extent of any soil remediation efforts cannot be determined until a Phase II ESA is performed. Therefore, costs associated with soil remediation have not been included in this report.

3. Work Element #3 – Preliminary Architectural Design Development of Salt Storage Facility

Preliminary design drawings have been prepared that include:

- Site Plan including Salt Storage Facility
- Sample Salt Storage Floor Plans, Wall Sections, and Building Elevation Drawings

Several salt storage facility vendors were identified and evaluated by Sigma including Wheeler Lumber, LLC, Advance Storage Technology and Bulk Storage, Inc. On February 19, 2025, onsite tours of existing municipal salt storage facilities located in the Milwaukee area were conducted. Whitefish Bay Public Works Department staff were in attendance along with Sigma staff and representatives from Wheeler Lumber, Inc and J.H. Hassinger Construction Services. Whitefish Bay Public Works staff estimate an annual Village road salt use of 1,200 tons. The salt storage facilities toured included:

- City of Pewaukee – 2,500 ton capacity (Wheeler)
- Village of Pewaukee – 1,000 ton capacity (Wheeler)
- Village of Lisbon – 2,000 ton capacity (Wheeler)
- City of Mequon – 5,000 ton capacity (Dome Structures)

During the tour various items were reviewed and discussed by the attendees, including:

- Building shape, height, material, ventilation, lighting, truss height, exterior finish
- Roof style and material
- Entrance location, door type, material, gauge and canopy covering
- Salt delivery mode
- Brine making system and storage inclusion and location
- Joint use of salt storage facility with other municipalities

The estimated construction costs for salt storage facilities in the size range the Village is interested in are as follows:

60' x 40' (1000 ton capacity) = \$500,000

72' x 60' (2000 ton capacity) = \$900,000

When the Village is ready to proceed with the salt storage facility construction, it is recommended that a salt storage facility material vendor is selected, bid documents are written around the selected vendor, and then the construction of that facility is competitively bid out.

4. Work Element #4 – Preliminary Site Planning

Preliminary design civil drawings have been prepared that include the following:

- Site Survey
- Site Preparation and Erosion Control
- Site Plan
- Grading Plan
- Utility Plan
- Building Remodel Plans
- Salt Storage Building Plans, Wall Sections and Building Elevation Drawings
- Photometric Lighting Plan

As part of the preliminary design development and site planning, initial discussions with the City of Glendale Administrative staff took place to review the preliminary site plan improvements. On April 22, 2025 Matt Collins, Whitefish Bay Director of Public Works, and John Edlebeck, Sigma Group Municipal Services Director, met with Karl Warwick, City Administrator, Charlie Imig, Director of City Services and Benjamin Polony, Assistant to the City Administrator, to discuss the preliminary plans for this site that include the building remodel plans and construction of a new salt storage facility.

The site lies within the municipal corporate limits of the City of Glendale and is zoned B-1, sub area A-1 (Business and Commercial District). The April 22 discussion focused on the current zoning of the property. With the current B-1, A-1 zoning, the existing Public Works Facility is a legal, non-conforming use. At the time the Village is ready to proceed with onsite development, a zoning map amendment will need to be filed by the Village with the City of Glendale requesting a change to S-1 zoning (Special Institutional District). This request will then be reviewed for action by both the City of Glendale Plan Commission and the City Council. In addition, other zoning standards for the S-1 District will need to be reviewed once final site design plans are completed to identify any variances that may be needed relative to building height, lot coverage, setbacks ,etc.

5. Costs

Sigma developed the following Tables of Cost utilizing a variety of sources that include but are not limited to: information and estimates from third party contractors and vendors, RS Means local construction cost data, experience with local historical construction costs, and owner provided estimates. Public Works Department staff have recommended a phased approach to the proposed improvements onsite. The table below represents estimated costs in a phased approach:

Year	Existing Building Remodel Option	Cost
Design	Phase II Environmental Site Assessment (ESA) of Overall Site & Phase I Design Services	\$ 140,000
Phase I	Stormwater Management, Storm Sewer, Salt Storage, Block Bin Storage, Pavement (50%) & Phase II Design	\$ 940,000
Phase II	Cold Storage Building and Tenant Building Remodel, Driveway Access Improvements & Phase III Design	\$ 950,000
Phase III	Fueling System, Pavement (Remaining 50%), Fence, lighting & Landscaping	\$ 235,000
Total	Includes Design Engineering (8%) and Contingencies (10%)	\$ 2,265,000

Note:

1. Site soil remediation costs are unknown at this time and are not included in this estimate.
2. Optional Heated Brine-Making Building with footings \$150,000

6. Exhibits

Exhibit 1: Preliminary Plan (attached)

Exhibit 2: Detailed Preliminary Opinion of Probable Construction Costs

Exhibit 3: Salt Storage Facility Photographs

Village of Whitefish Bay, Wisconsin Public Works Department Preliminary Architecture & Engineering

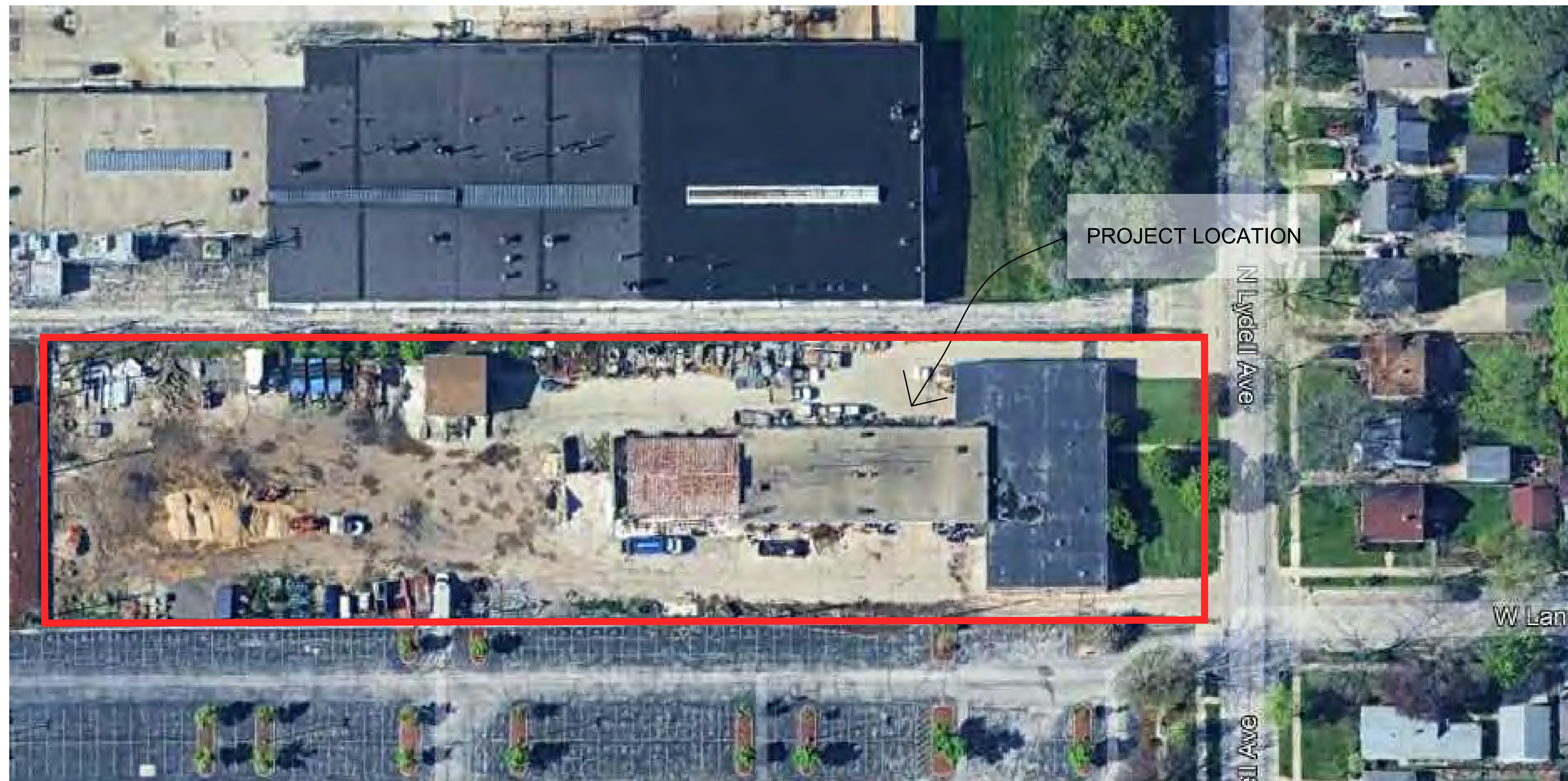
5111 North Lydell Avenue Glendale, WI 53217

PREPARED BY:

THE SIGMA GROUP
Single Source. Sound Solutions.
www.thesigmagroup.com
1300 West Canal Street
Milwaukee, WI 53233
Phone: 414-643-4200
Fax: 414-643-4210

SHEET INDEX	
SHEET NO:	DESCRIPTION
A0.1	COVER SHEET
C001	SITE SURVEY
C002	SITE PREPARATION & EROSION CONTROL
C100	SITE PLAN
C200	GRADING PLAN
C300	UTILITY PLAN
C400	DETAILS
C401	DETAILS
C402	DETAILS
C500	SPECIFICATIONS
C501	SPECIFICATIONS
A1.1	FIRST FLOOR PLAN
A2.1	NORTH AND SOUTH ELEVATIONS
A2.2	EAST AND WEST ELEVATIONS
LT-100	LIGHTING PLAN

WHITEFISH BAY DEPARTMENT OF PUBLIC WORKS
5111 N LYDELL AVE
GLENDALE, WI 53217
COVER SHEET



PROJECT LOCATION

N Lydell Ave

W Lance

5th Ave

PRELIMINARY DRAFT

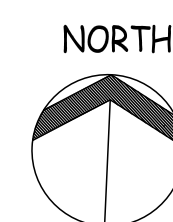
ISSUANCE	DATE
Preliminary Drawings	2024.12.19
Preliminary Owner Review	2025.04.21

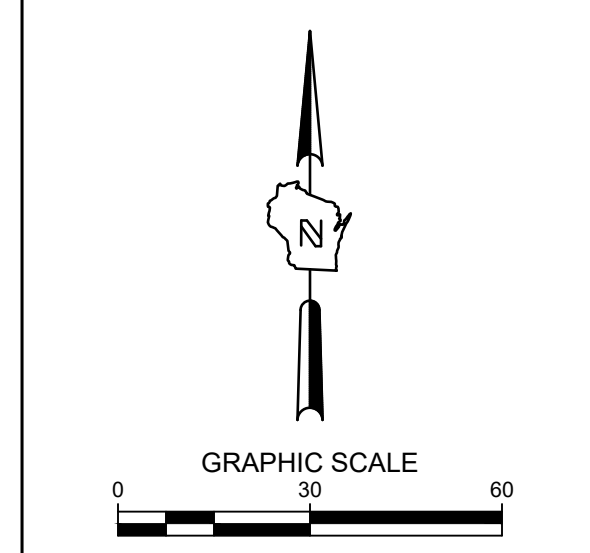
NO. REVISION	DATE

SCALE:	
PROJECT NO:	22059
DESIGN DATE:	2025.2.7
PLOT DATE:	2025.04.21
DRAWN BY:	CTD
CHECKED BY:	AAG
APPROVED BY:	RJG

SHEET NO:
A0.1

1 PROJECT LOCATION MAP
A0.1 NOT TO SCALE





**WHITEFISH BAY DPW
 5111 N. LYDELL AVENUE
 GLENDALE, WI**

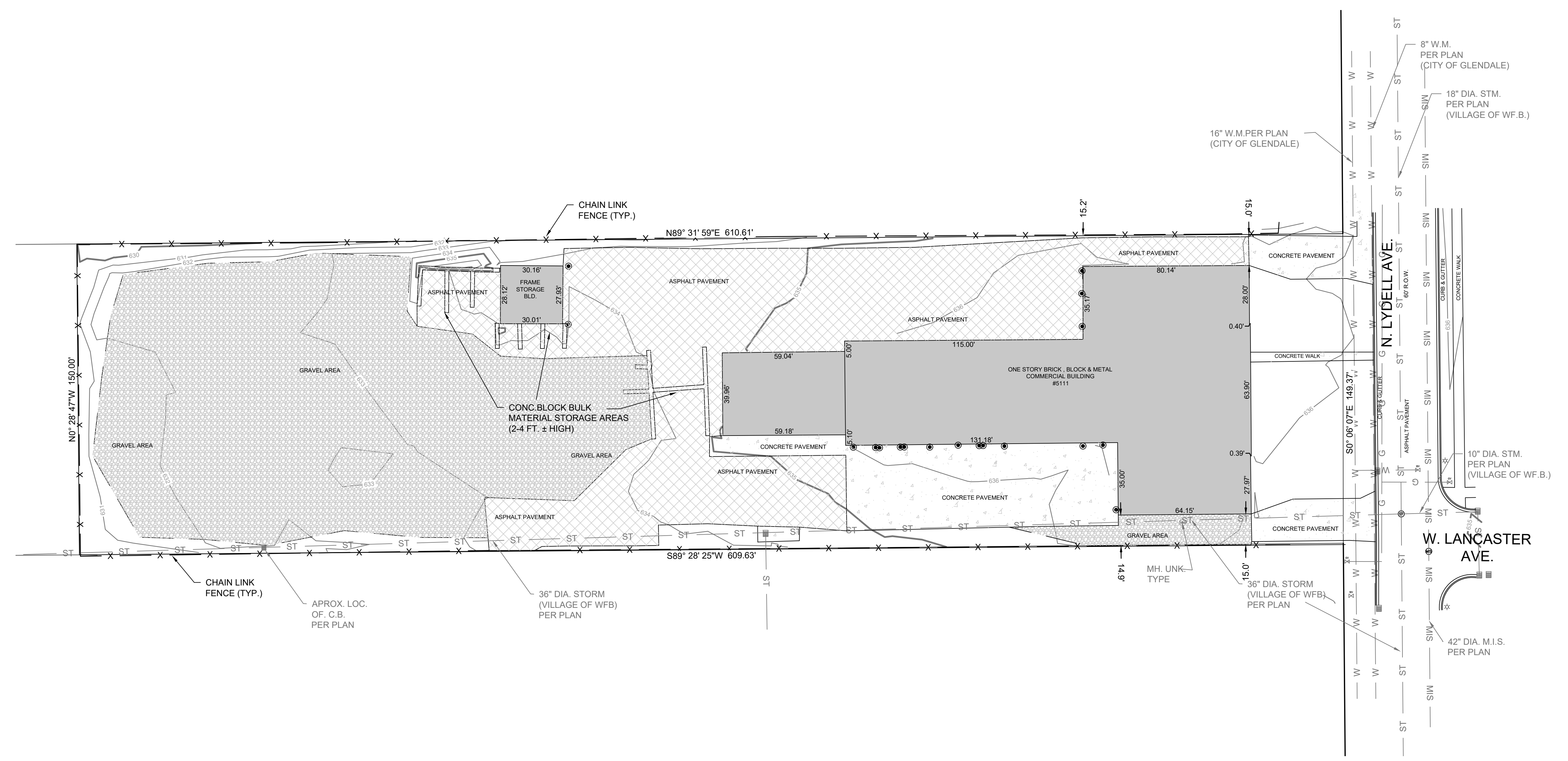
SITE SURVEY

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

ISSUANCE	DATE
NO. REVISION	DATE

PROJECT NO:	22059
DESIGN DATE:	----
PLOT DATE:	2025.04.29
DRAWN BY:	----
CHECKED BY:	----
APPROVED BY:	----
SHEET NO:	C001

- LEGEND:**
- SECTION 1/4 SECTION LINE
 - ==== PROPERTY LINE
 - - - - EASEMENT
 - X-X CHAIN LINK FENCE
 - GUARD RAIL
 - METAL FENCE
 - WOOD FENCE
 - ~ ~ ~ TREE LINE
 - OH OVERHEAD UTILITY LINE
 - E ELECTRIC
 - T TELEPHONE
 - FO FIBER OPTIC
 - CTV CABLE TV
 - SAN SANITARY SEWER
 - FS FORCE MAIN
 - ST STORM SEWER
 - W WATER MAIN
 - G GAS
 - 670 EXISTING CONTOUR
 - WET WETLAND
 - FP FLOODPLAIN
 - ⊕ UNKNOWN MANHOLE
 - ⊙ SANITARY MANHOLE
 - ⊙ STORM MANHOLE
 - ⊙ ELECTRIC MANHOLE
 - ⊙ MMSD MANHOLE
 - ⊙ TELEPHONE MANHOLE
 - ⊙ CLEANOUT
 - ⊙ CATCH BASIN
 - ⊙ CATCH BASIN (ROUND)
 - ⊙ ROOF DRAIN
 - ⊙ CULVERT END
 - ⊙ HYDRANT
 - ⊙ WATER VALVE
 - ⊙ GAS VALVE
 - ⊙ GAS METER
 - ⊙ ELECTRIC METER
 - ⊙ UTILITY PEDESTAL
 - ⊙ HANDHOLE
 - ⊙ VENT
 - ⊙ MONITORING WELL
 - IRON PIPE FOUND/SET
 - REBAR FOUND/SET
 - ⊗ CHISELED CROSS FOUND/SET
 - ⊙ PK NAIL FOUND/SET
 - SPIKE/NAIL
 - ⊙ MONUMENT
 - ⊙ BENCHMARK
 - ⊙ SIGN
 - ⊙ PARKING METER
 - ⊙ FLAG POLE
 - ⊙ DECIDUOUS TREE
 - ⊙ CONIFEROUS TREE
 - ⊙ BUSH
 - ⊙ POST
 - ⊙ SOIL BORING
 - ⊙ TRAFFIC SIGNAL
 - ⊙ LIGHT POLE
 - ⊙ UTILITY POLE
 - ⊙ GUY WIRE
 - ⊙ GUY POLE



GENERAL NOTES:

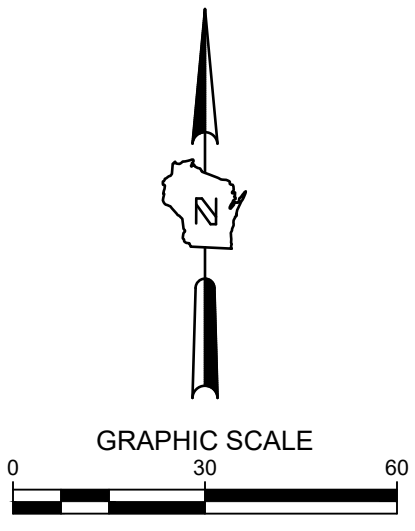
1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. DRAWING IS BASED ON FIELD SURVEY COMPLETED BY THE SIGMA GROUP ON 3/15/2024.
4. DATUM FOR THE PROJECT SURVEY IS USGS NAVD8888. BENCHMARK FOR THE PROJECT SURVEY IS SOUTHEASTERLY STORM MANHOLE WITH AN ELEVATION OF 635.43'.
5. CONTRACTOR TO VERIFY EXISTING CONDITIONS, CONTACT ENGINEER WITH DISCREPANCIES.

TO OBTAIN LOCATIONS OF PARTICIPATING UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

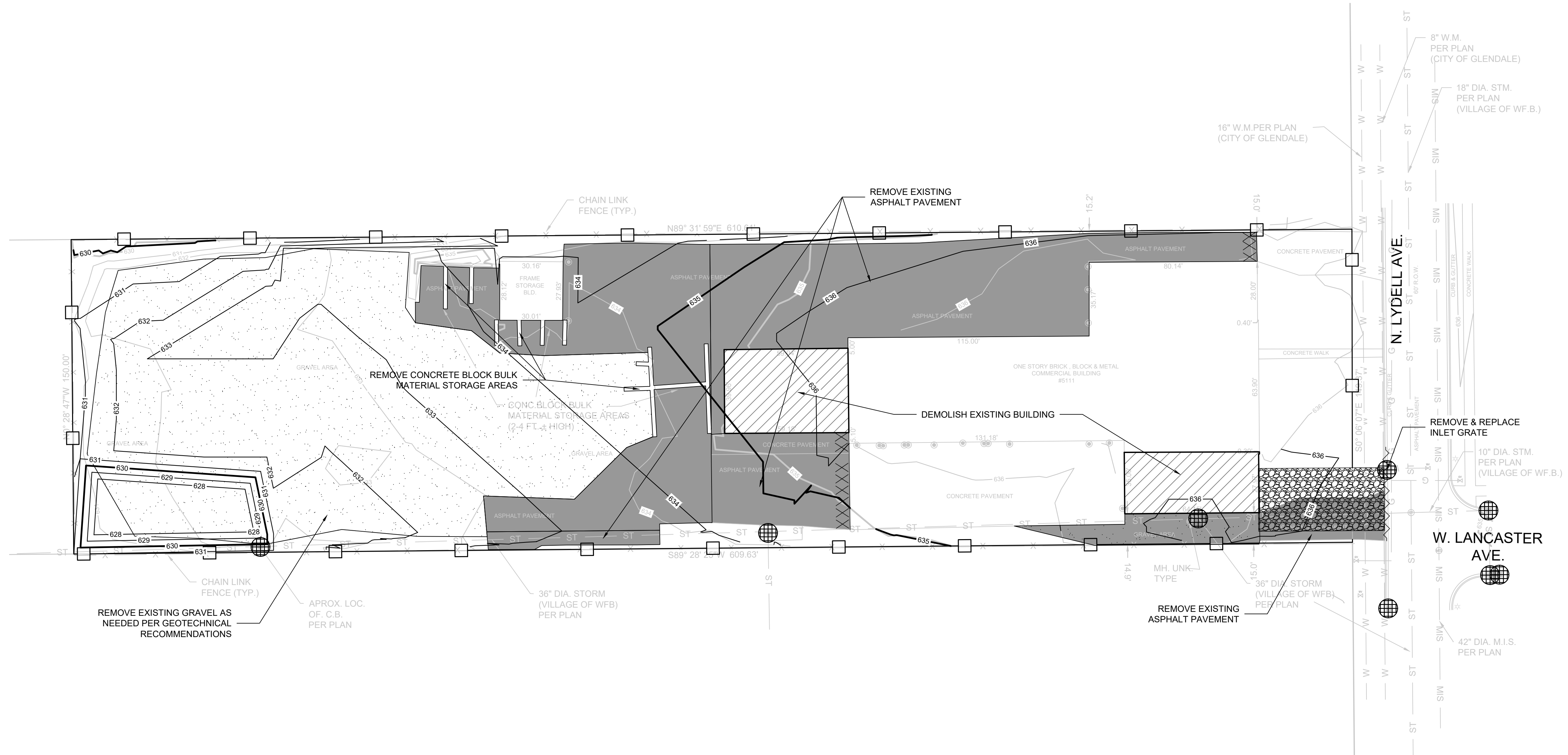
CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE

MS STATUTE 182.07(2)(b) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



- LEGEND:**
- PROPOSED SILT FENCE
 - PROPOSED INLET PROTECTION
 - PROPOSED TRACKING PAD
 - PROPOSED EROSION MATTING WSDOT APPROVED CLASS 1 TYPE B
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - CURB REMOVAL
 - SAWCUT
 - PAVEMENT REMOVAL
 - DEMOLISH EXISTING BUILDING



**WHITEFISH BAY DPW
 5111 N. LYDELL AVENUE
 GLENDALE, WI**

SITE PREPARATION & EROSION CONTROL PLAN

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

ISSUANCE	DATE
NO. REVISION	DATE

- GENERAL NOTES:**
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 3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
 4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
 5. SEE SHEET C400 FOR A COMPLETE LIST OF EROSION CONTROL NOTES AND DETAILS. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO START OF LAND DISTURBING ACTIVITIES.
 6. DO NOT BEGIN LAND DISTURBING ACTIVITIES UNTIL AN EROSION CONTROL PERMIT IS OBTAINED FROM LOCAL JURISDICTION.

PROJECT NO:	22059
DESIGN DATE:	----
PLOT DATE:	2025.04.29
DRAWN BY:	----
CHECKED BY:	----
APPROVED BY:	----
SHEET NO:	

C002

TO OBTAIN LOCATIONS OF PARTICIPATING UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

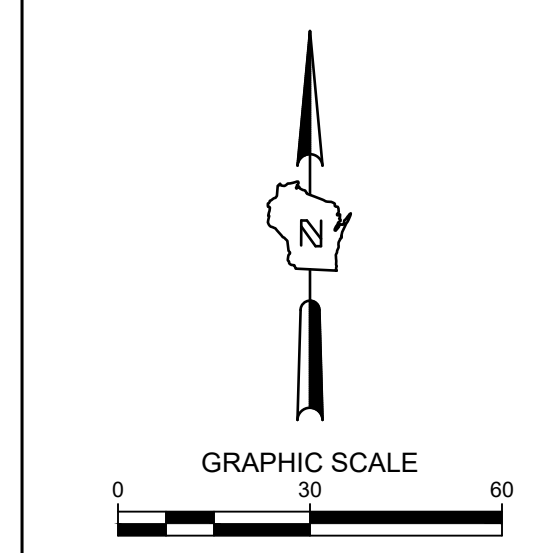
CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE

MS STATUTE 182.07(2)(97A) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE MILW. AREA 259-1181

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SITE INFORMATION	
SITE AREA	91324 2.097 AC
SITE DISTURBED AREA	73680 1.691 AC
EXISTING IMPERVIOUS AREA	76879 1.765 AC 84.2 %
PROPOSED IMPERVIOUS AREA	69589 1.598 AC 76.2 %

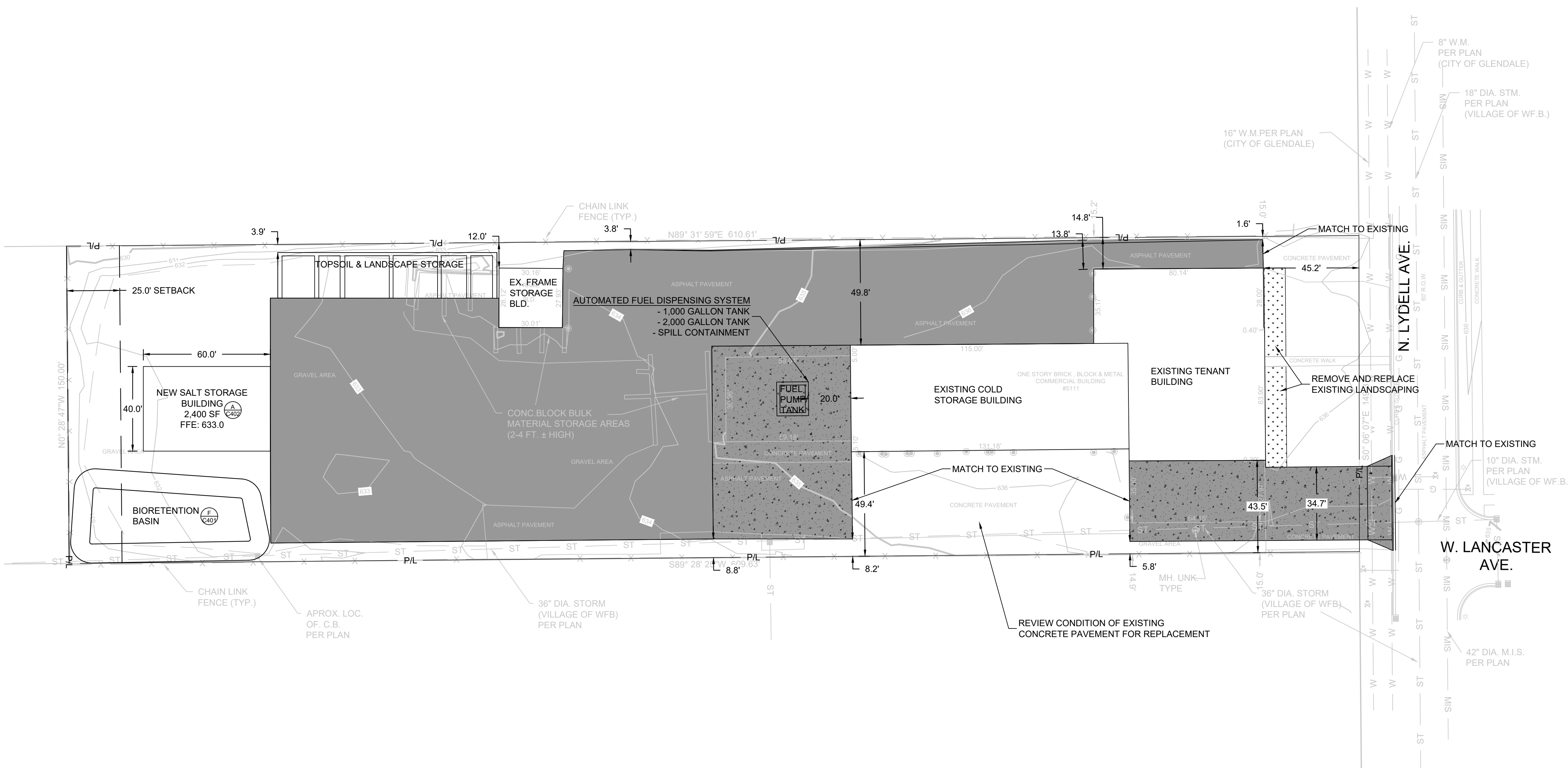
THE SIGMA GROUP
 Single Source. Sound Solutions.
 www.thesigmagroup.com
 1300 West Canal Street
 Milwaukee, WI 53233
 Phone: 414-643-4200
 Fax: 414-643-4210



LEGEND:

CONCRETE PAVEMENT
 HEAVY-DUTY ASPHALT SURFACE
 CURB & GUTTER (ACCEPT)
 LANDSCAPE REMOVAL AND REPLACEMENT

WHITEFISH BAY DPW
 5111 N. LYDELL AVENUE
 GLENDALE, WI
 SITE PLAN



GENERAL NOTES:

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- VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
- ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
- DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT.
- WORK WITHIN THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO DRIVEWAY OPENINGS, SIDEWALK AND RAMP, PAVING, AND CURB AND GUTTER SHALL BE COMPLETED PER MUNICIPAL AND/OR COUNTY REQUIREMENTS AND STANDARDS.
- EARTHWORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

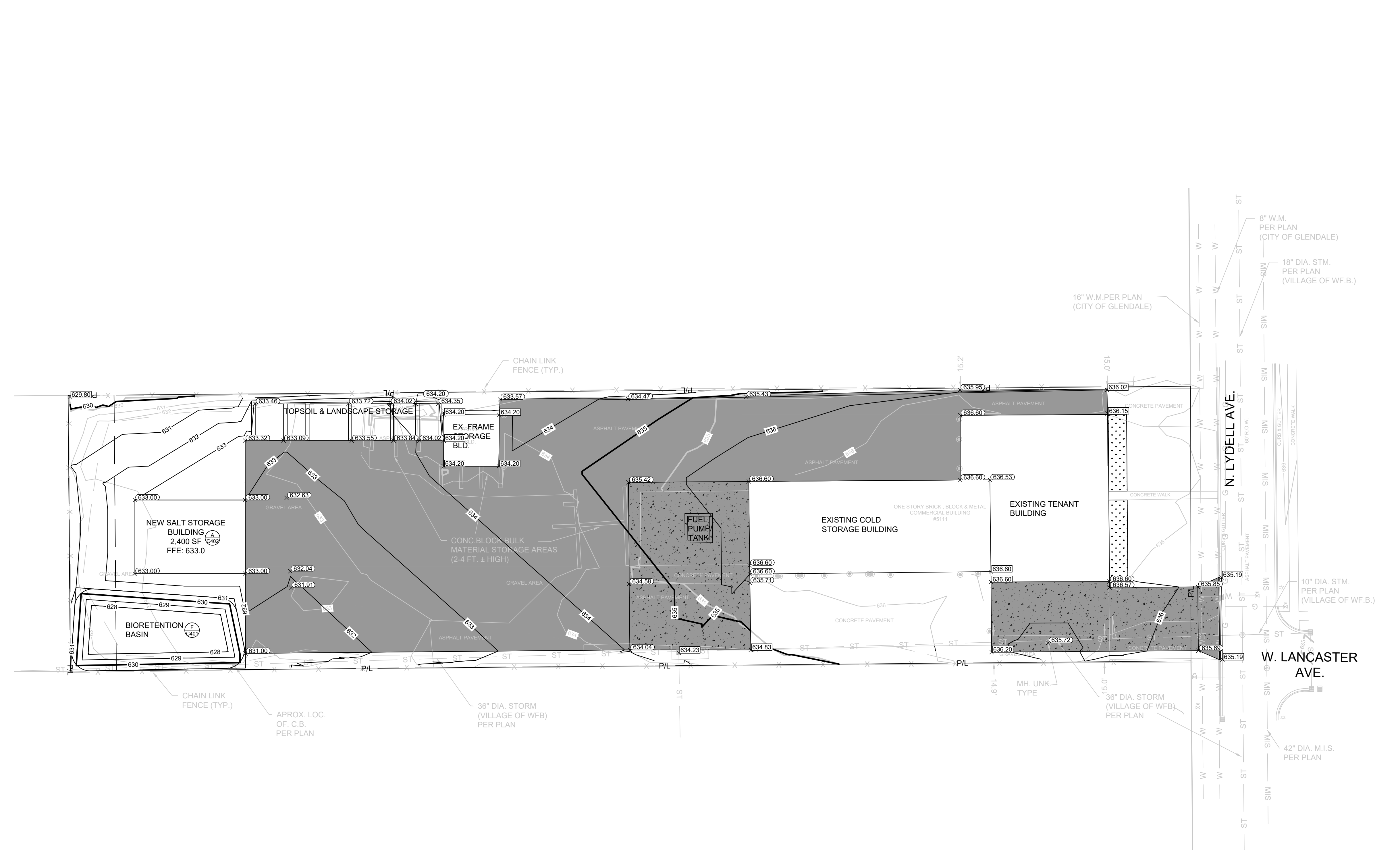
**PRELIMINARY
NOT FOR
CONSTRUCTION**

ISSUANCE	DATE
NO. REVISION	DATE

PROJECT NO:	22059
DESIGN DATE:	----
PLOT DATE:	2025.04.29
DRAWN BY:	----
CHECKED BY:	----
APPROVED BY:	----
SHEET NO:	C100

TO OBTAIN LOCATIONS OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
 CALL DIGGERS' HOTLINE
 1-800-242-8511
 TOLL FREE
 WIS. STATUTE 182.07(2)(b) REQUIRES MIN. 2 WORK DATES NOTICE BEFORE YOU EXCAVATE
 MILW. AREA 259-1181

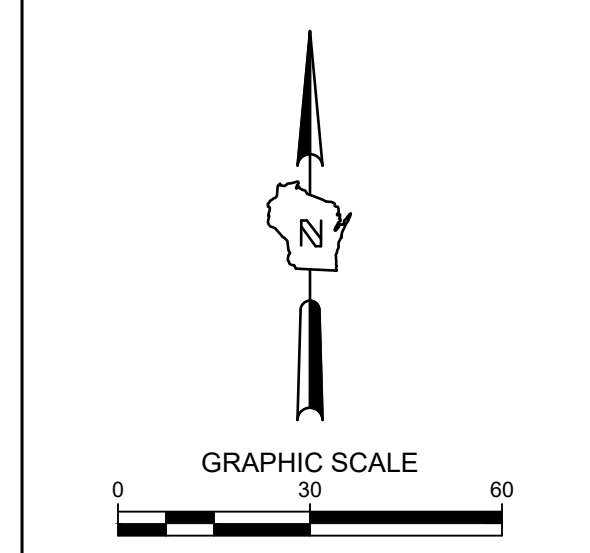
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LEGEND:

- CONCRETE PAVEMENT (B/C401)
- HEAVY-DUTY ASPHALT SURFACE (A/C401)
- CURB & GUTTER (ACCEPT) (C/C401)
- LANDSCAPE REMOVAL AND REPLACEMENT
- GRADE BREAK LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED CURB & GUTTER SPOT GRADE (T/C: TOP OF CURB GRADE, F/L: FLOW LINE CURB GRADE)
- PROPOSED SURFACE SPOT GRADE
- PROPOSED TOP OF WALL AT FINISHED GRADE (TW: 100.00, BW: 100.00)
- PROPOSED BOTTOM OF WALL AT FINISHED GRADE
- EXISTING SURFACE SPOT GRADE (MATCH)

THE SIGMA GROUP
 Single Source. Sound Solutions.
 www.thesigmagroup.com
 1300 West Canal Street
 Milwaukee, WI 53233
 Phone: 414-643-4200
 Fax: 414-643-4210



WHITEFISH BAY DPW
 5111 N. LYDELL AVENUE
 GLENDALE, WI
 GRADING PLAN

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

ISSUANCE	DATE
NO. REVISION	DATE

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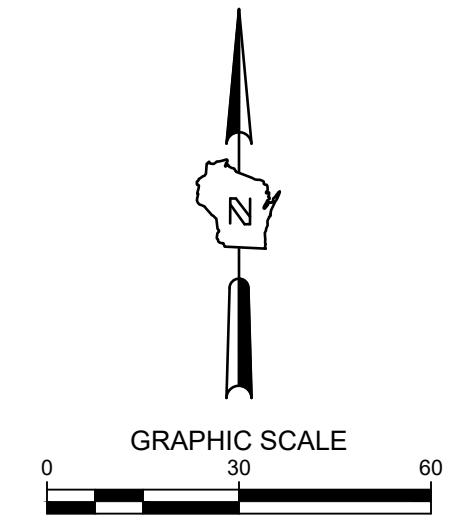
PROJECT NO:	22059
DESIGN DATE:	----
PLOT DATE:	2025.04.29
DRAWN BY:	----
CHECKED BY:	----
APPROVED BY:	----
SHEET NO:	C200

TO OBTAIN LOCATIONS OF PARTICIPATING UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

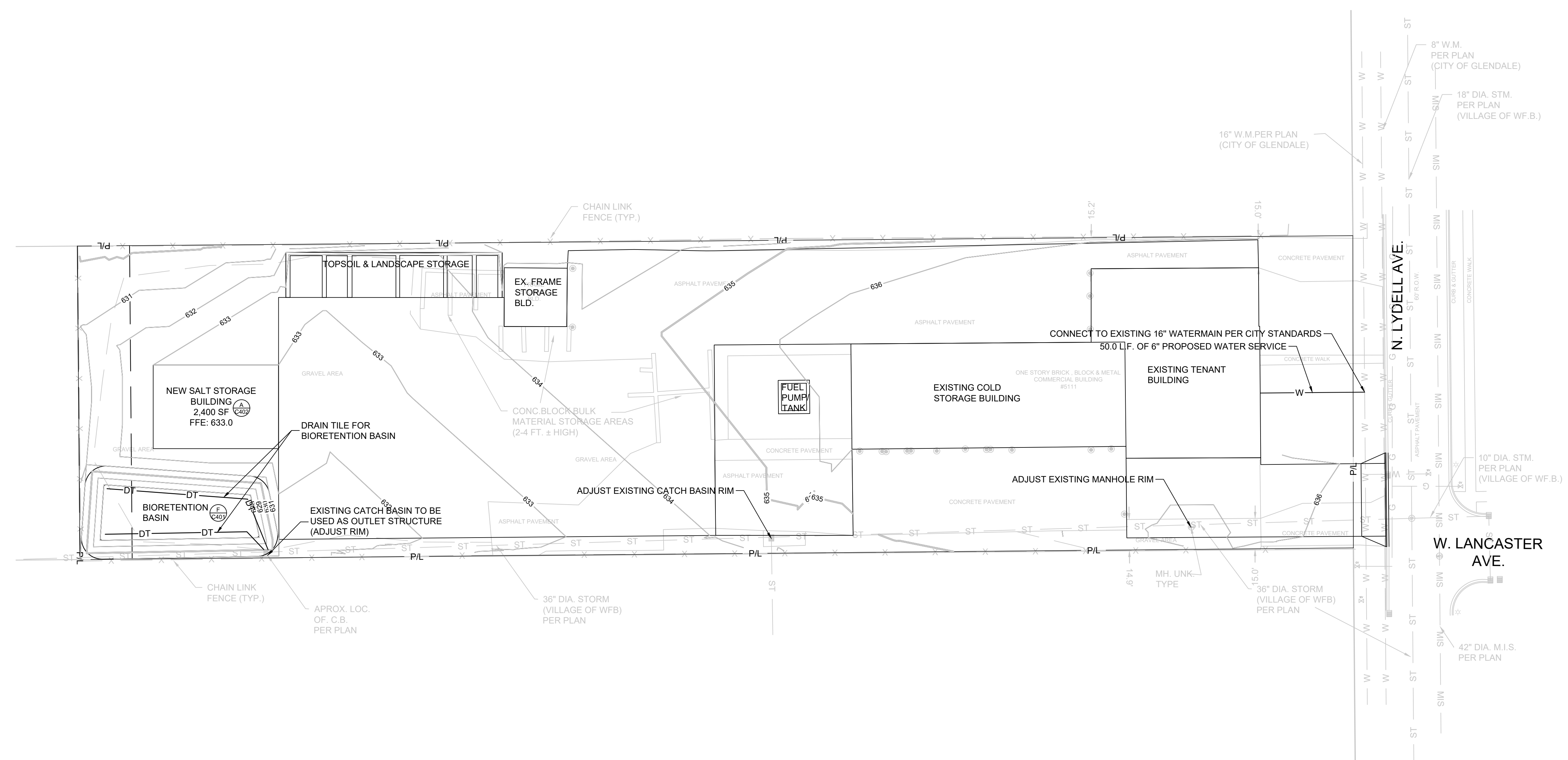
CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE

MS STATUTE 182.07(2)(97A) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE MILW. AREA 259-1181

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- LEGEND:**
- PROPOSED WATER SERVICE
 - PROPOSED SANITARY SERVICE
 - PROPOSED STORM SEWER
 - PROPOSED DRAIN TILE (UNDERDRAIN)
 - PROPOSED ELECTRICAL SERVICE
 - PROPOSED TELEPHONE SERVICE
 - PROPOSED GAS SERVICE
 - PROPOSED CITY UNDERGROUND CONDUIT
 - PROPOSED STORM INLET
 - PROPOSED STORM MANHOLE
 - PROPOSED FLARED END SECTION
 - PROPOSED SANITARY MANHOLE
 - PROPOSED HYDRANT ASSEMBLY



WHITEFISH BAY DPW
 5111 N. LYDELL AVENUE
 GLENDALE, WI
 UTILITY PLAN

GENERAL NOTES:

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3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
5. ALL UTILITIES WITHIN 5 FEET OF PAVED AREAS SHALL REQUIRE GRANULAR BACKFILL. SLURRY BACKFILL IS REQUIRED FOR ALL WORK IN PUBLIC RIGHT OF WAY.
6. PRIVATE STORM INLETS IN PAVEMENT SHALL REQUIRE DRAIN TILE STUBS OF 10 FEET IN TWO DIRECTIONS FOR SUBDRAINAGE. RIM GRADE FOR STORM INLETS IN CURB AND GUTTER ARE FLOW LINE GRADES.
7. WORK IN PUBLIC RIGHT OF WAY SHALL FOLLOW MATERIAL AND INSTALLATION REQUIREMENTS PER MUNICIPAL AND/OR COUNTY.
8. PRIVATE STORM SEWER 12-INCH DIAMETER OR LARGER SHALL BE HDPE. BELOW 12-INCH DIAMETER SHALL BE PVC SDR-35 ASTM D3034. PRIVATE WATER MAIN SHALL BE CLASS 235 DR 18 PVC CONFORMING TO AWWA C-900. PRIVATE SANITARY SEWER SHALL BE PVC SDR-35 ASTM D3034.
9. COORDINATE FINAL LOCATION AND DESIGN OF PRIVATE UTILITY SERVICES (ELECTRIC, GAS, PHONE, CABLE) WITH UTILITY COMPANIES.
10. IF PROJECT IS DESIGN BUILD MEP, THE GENERAL CONTRACTOR IS REQUIRED TO PROVIDE FINAL SEWER AND WATER DESIGN SHOWING LOCATION, INVERTS AND SIZES TO THE ENGINEER FOR FINAL REVIEW AND VERIFICATION PRIOR TO STARTING UNDERGROUND UTILITY CONSTRUCTION.
11. WATER MAIN CONNECTION: TAP WATER MAIN WITH SIZE AND LOCATION INDICATED ON PLAN IN ACCORDANCE WITH LOCAL WATER UTILITY REQUIREMENTS. COORDINATE CONNECTION WITH LOCAL WATER UTILITY. ALL JOINTS SHALL BE RESTRAINED FROM CONNECTION OF WATER MAIN TO BUILDING WALL. SUBMIT JOINT RESTRAINT DETAILS FOR ALL JOINT TYPES INCLUDING PUSH-ON AND MECHANICAL CONNECTIONS. INSTALL MEGA-LUG OR APPROVED EQUAL TIGHT TO WALL FOR RESTRAINT FOR ALL BUILDING WALL PENETRATIONS AS APPROVED BY LOCAL PLUMBING INSPECTOR AND WATER UTILITY. INSTALL THRUST BLOCKING AND MEGA-LUG AT BEND BELOW FLOOR FOR ALL FLOOR PENETRATIONS.
12. INSTALL JOINT RESTRAINT AND CONCRETE THRUST BLOCKS AT ALL OFFSET FITTINGS (TEES, BENDS, DEAD ENDS, VALVES, REDUCERS) USING MEGA-LUG OR APPROVED EQUAL. CONCRETE THRUST BLOCKS SHALL BE INSTALLED PER FILE NO'S 44.45.46 FROM THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. SEE DETAIL FOR MINIMUM LENGTH OF RESTRAINED JOINT REQUIRED. SUBMIT JOINT RESTRAINT DETAILS FOR ALL JOINT TYPES INCLUDING PUSH-ON AND MECHANICAL CONNECTIONS.

**PRELIMINARY
NOT FOR
CONSTRUCTION**

ISSUANCE	DATE

NO. REVISION	DATE

PROJECT NO:	22059
DESIGN DATE:	---
PLOT DATE:	2025.04.29
DRAWN BY:	---
CHECKED BY:	---
APPROVED BY:	---
SHEET NO:	C300

TO OBTAIN LOCATIONS OF PARTICIPATING UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
WS STATUTE 182.07(2)(97A)
 REQUIRES MIN. 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE
 MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

EROSION CONTROL NOTES:

- CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY. DOCUMENT AND MAINTAIN RECORDS OF INSPECTIONS IN ACCORDANCE WITH WDNR NR216 REQUIREMENTS.
- SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE SHALL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
- FILTER FABRIC SHALL BE INSTALLED BENEATH INLET COVERS TO TRAP SEDIMENT PER INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
- PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN ADJACENT STREETS FREE OF DUST AND DIRT.
- SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ANY TOPSOIL AND FILL STOCKPILES.
- SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE MEASURES SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
- WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- TRACKING. EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING, TO THE SATISFACTION OF THE CITY OF MILWAUKEE, BEFORE THE END OF EACH WORKDAY. FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR PRACTICE SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. NOTIFY CITY OF MILWAUKEE OF ANY CHANGES IN STABILIZED CONSTRUCTION ENTRANCE LOCATION.
- SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORKDAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORKDAY.
- ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, MULCHING, SODDING, COVERING WITH TARPS, OR EQUIVALENT PRACTICE FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SODDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
- SOIL OR DIRT STORAGE PILES SHALL BE LOCATED A MINIMUM OF TWENTY-FIVE FEET FROM ANY DOWNSLOPE ROAD, LAKE, STREAM, WETLAND, OR DRAINAGE CHANNEL. STRAW BALE OR FILTER FABRIC FENCES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE PILES. IF REMAINING FOR MORE THAN THIRTY DAYS, PILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS OR OTHER MEANS.
- WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY PRACTICES, SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS, FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS SHALL BE REMOVED.
- NOTIFY THE LOCAL MUNICIPALITY HAVING JURISDICTION WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.
- OBTAIN PERMISSION FROM THE LOCAL MUNICIPALITY HAVING JURISDICTION PRIOR TO MODIFYING THE EROSION CONTROL PLAN.
- REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES.
- KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE.
- CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE DISTURBANCE OF EXISTING VEGETATION DURING CONSTRUCTION.
- CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE COMPACTION OF TOPSOIL AND PRESERVE TOPSOIL IN GREENSPACE AREAS.
- WASH WATER FROM VEHICLES AND WHEEL WASHING SHALL BE CONTAINED AND TREATED PRIOR TO DISCHARGE.
- CONTRACTOR SHALL MAINTAIN SPILL KITS ON-SITE.
- PERMANENT TURF SEEDING OF DISTURBED AREA MUST OCCUR PRIOR TO SEPTEMBER 15TH. IF ADEQUATE TIME IS NOT AVAILABLE TO APPLY PERMANENT SEEDING PRIOR TO SEPTEMBER 15TH, THEN DISTURBED AREAS SHALL BE TEMPORARILY SEEDED WITH AN ANNUAL RYE GRASS PER WDNR TECHNICAL STANDARD 1059, WHERE THE TEMPORARY SEEDING MUST OCCUR PRIOR TO OCTOBER 15TH.
- IF TEMPORARY SEEDING IS NOT COMPLETED BY OCTOBER 15TH, APPLY SOIL STABILIZERS AND DORMANT SEED TO DISTURBED AREA PER WDNR TECHNICAL STANDARD 1050. INSPECT ANIONIC PAM APPLICATION AT A MINIMUM FREQUENCY OF EVERY TWO MONTHS AND REAPPLY AS NECESSARY.

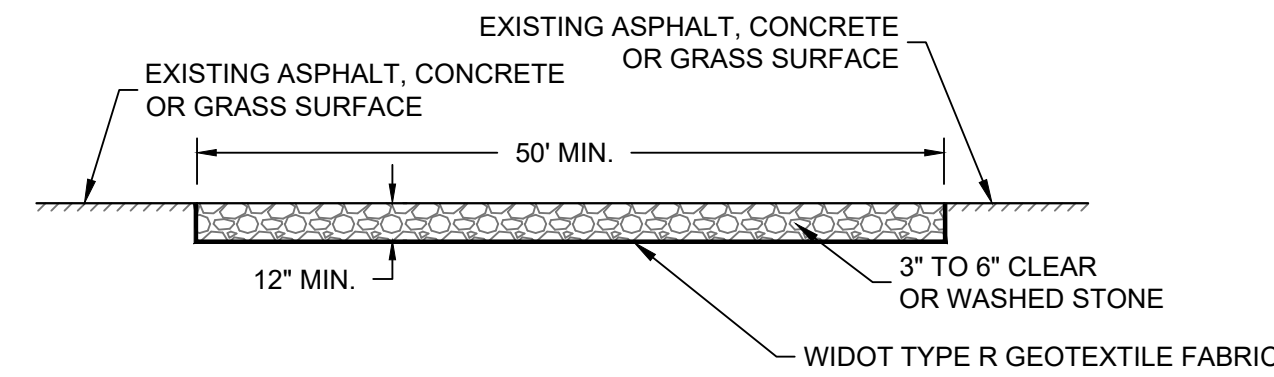
CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:

- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- INSTALL SILT FENCING AND INLET PROTECTION.
- INITIATE STOCKPIILING OF IMPORTED MATERIAL. PLACE SILT FENCE AROUND STOCKPILE(S).
- STRIP TOPSOIL FROM STORM WATER BASIN LOCATION AND STOCKPILE.
- CONSTRUCT STORM WATER BASIN AND INSTALL TEMPORARY OUTLET AND EMERGENCY OVERFLOW. BASIN IS TO BE USED AS A SEDIMENTATION BASIN DURING THE COURSE OF CONSTRUCTION.
- CONSTRUCT DIVERSION SWALES. DIRECT RUNOFF TO STORM BASIN. INSTALL ASSOCIATED DITCH CHECKS.
- INSTALL RIP-RAP AT STORM WATER BASIN AS SHOWN ON THE PLANS.
- STRIP TOPSOIL FROM REMAINDER OF SITE IN A PROGRESSIVE MANNER, AND STOCKPILE.
- PERFORM ROUGH SITE GRADING. STABILIZE FINISHED AREAS AS THE WORK PROGRESSES. USE EROSION MATTING WHERE CALLED FOR ON THE PLANS. PER WDNR TECHNICAL STANDARD 1059: AREAS THAT RECEIVE TEMPORARY SEEDING SHALL HAVE A MINIMUM TOPSOIL DEPTH OF 2 INCHES. AREAS THAT RECEIVE PERMANENT SEEDING SHALL HAVE A MINIMAL TOPSOIL DEPTH OF 4 INCHES.
- PREPARE BUILDING PAD AND BEGIN FOUNDATIONS WORK FOR BUILDING.
- INSTALL UTILITIES. INSTALL ANY ADDITIONAL INLET PROTECTION ON NEW STORM SEWER AND INSTALL RIP-RAP AT NEW STORM SEWER OUTFALLS.
- REMOVE TEMPORARY OUTLET CONTROL STRUCTURE ON BASIN AND INSTALL PAVEMENTS.
- STABILIZE AREAS REMAINING AREAS WITHIN 7 DAYS OF COMPLETION OF FINAL GRADING AND TOPSOILING.
- REMOVE EXCESS SEDIMENT FROM STORMWATER BASINS AND RETURN BASINS TO THEIR DESIGN DIMENSIONS AND VOLUMES.
- REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.

NOTES:

- ECRMs (EROSION CONTROL REVEGETATIVE MATS) SHALL BE INSTALLED AFTER ALL TOPSOILING, FERTILIZING, LIMING, AND SEEDING IS COMPLETE.
- THE MAT SHALL BE IN FIRM AND INTIMATE CONTACT WITH THE SOIL. IT SHALL BE INSTALLED AND ANCHORED PER THE MANUFACTURER'S RECOMMENDATION.
- TRMs (TURF-REINFORCEMENT MAT) SHALL BE INSTALLED INCONJUNCTION WITH THE TOPSOILING OPERATION AND SHALL BE FOLLOWED BY ECRM INSTALLATION.
- AT TIME OF INSTALLATION, DOCUMENT THE MANUFACTURER AND MAT TYPE BY RETENTION OF MATERIAL LABELS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. RETAIN THIS DOCUMENTATION UNTIL THE SITE HAS BEEN STABILIZED.
- EROSION MATTING SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1052.
- INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- WHERE A TRM IS INSTALLED, THE TRM LOCATION SHALL BE AS-BUILT PRIOR TO PLACEMENT OF TOPSOIL AND ECRM PLACEMENT. PROVIDE AS-BUILT LOCATION TO THE ENGINEER.

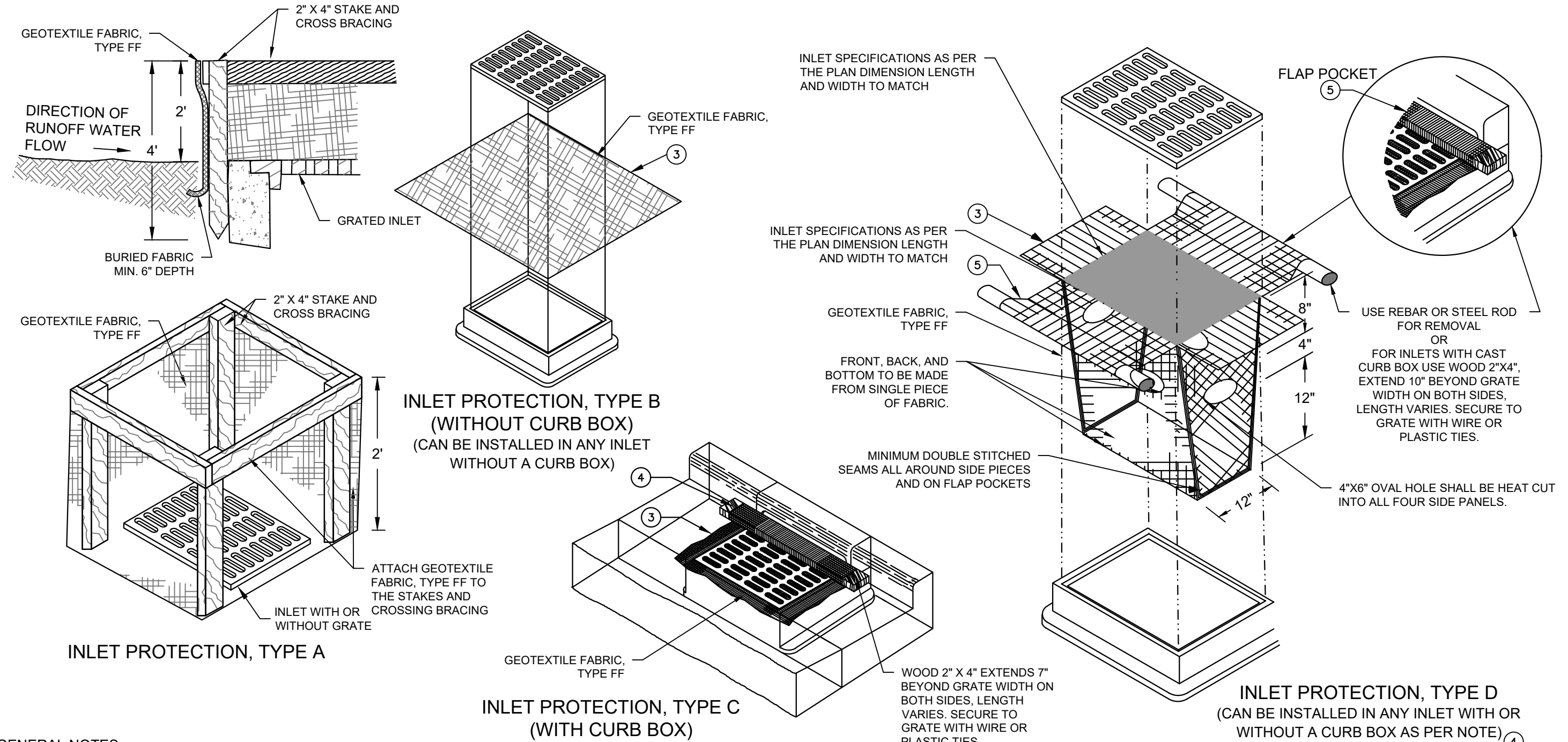
B EROSION MATTING - WDNR TS-1052
SCALE:N.TS



GENERAL NOTE:

- STONE TRACKING PAD SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1057
- AN APPROVED MANUFACTURED TRACKOUT CONTROL DEVICE SYSTEM CONFORMING TO WDNR TECHNICAL STANDARD #1057 MAY BE USED AS AN ALTERNATIVE TO A STONE TRACKING PAD

C CONSTRUCTION ENTRANCE - WDNR TS-1057
SCALE:N.TS



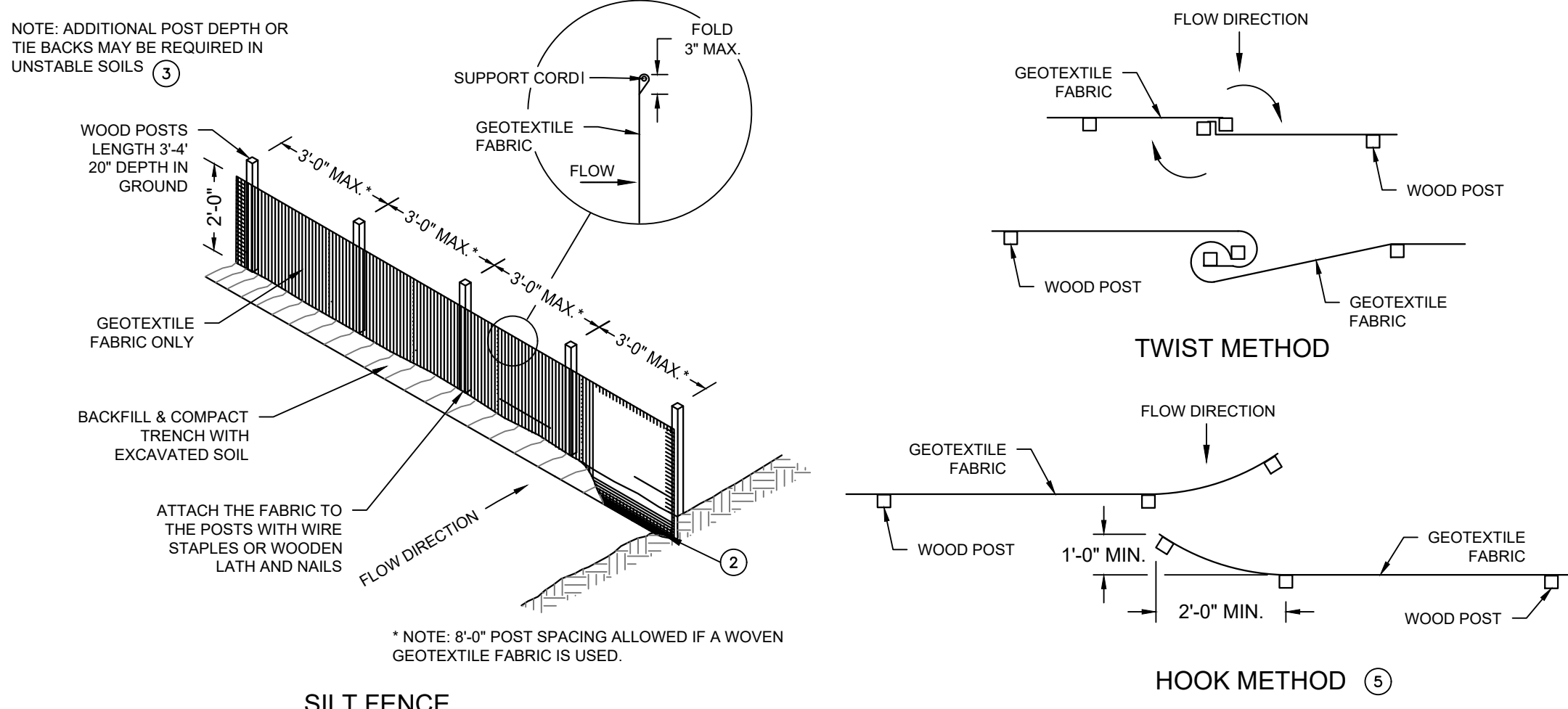
GENERAL NOTES:

- MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10\"/>

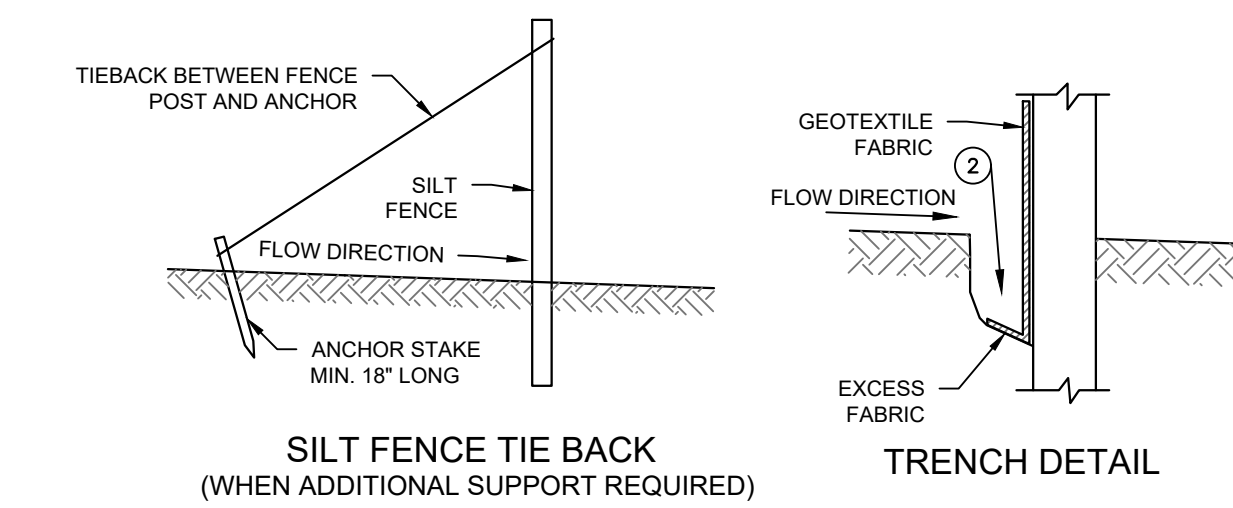
INSTALLATION NOTES:

- TYPE B & C TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3\"/>
- TYPE D DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30\", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3\"/>

A INLET PROTECTION - WDNR TS-1060
SCALE:N.TS



SILT FENCE TIE BACK (WHEN ADDITIONAL SUPPORT REQUIRED)



D SILT FENCE - WDNR TS-1056
SCALE:N.TS

WHITEFISH BAY DPW
5111 N. LYDELL AVENUE
GLENDALE, WI
DETAILS

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUANCE	DATE
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NO. REVISION	DATE
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PROJECT NO:	22059
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DESIGN DATE:	----
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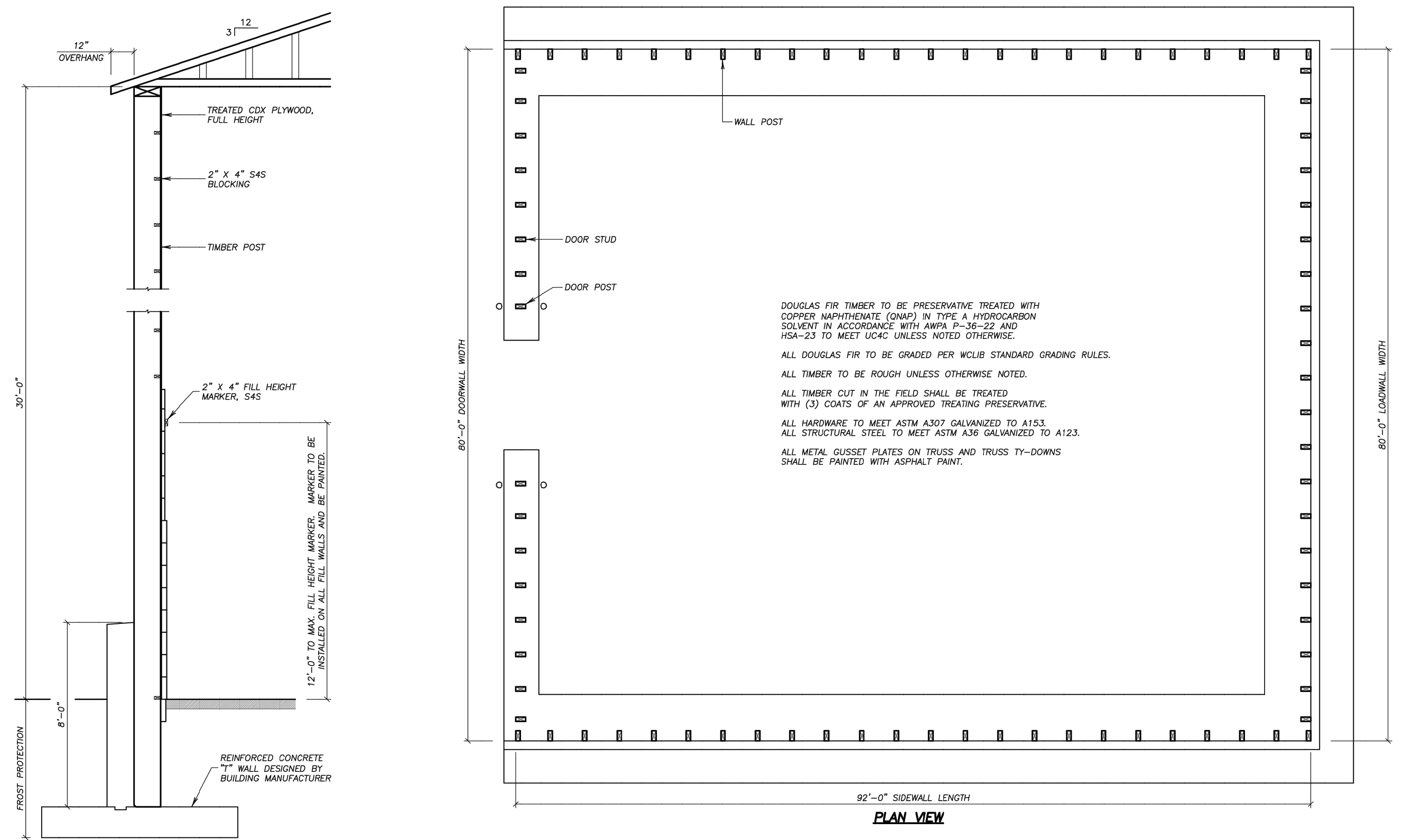
PLOT DATE:	2025.04.29
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APPROVED BY:	----
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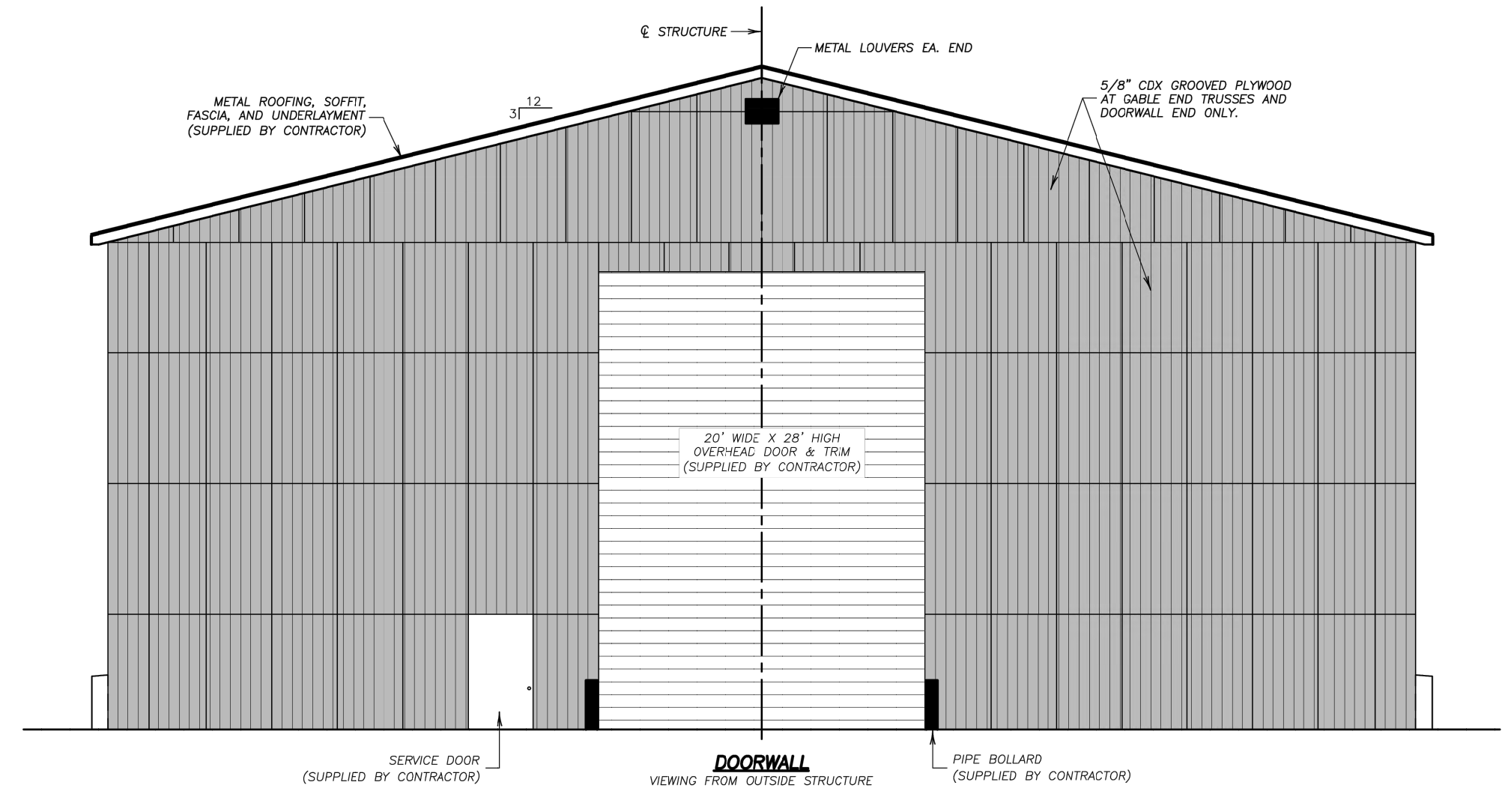
SHEET NO:	C400
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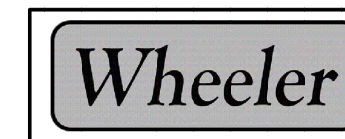
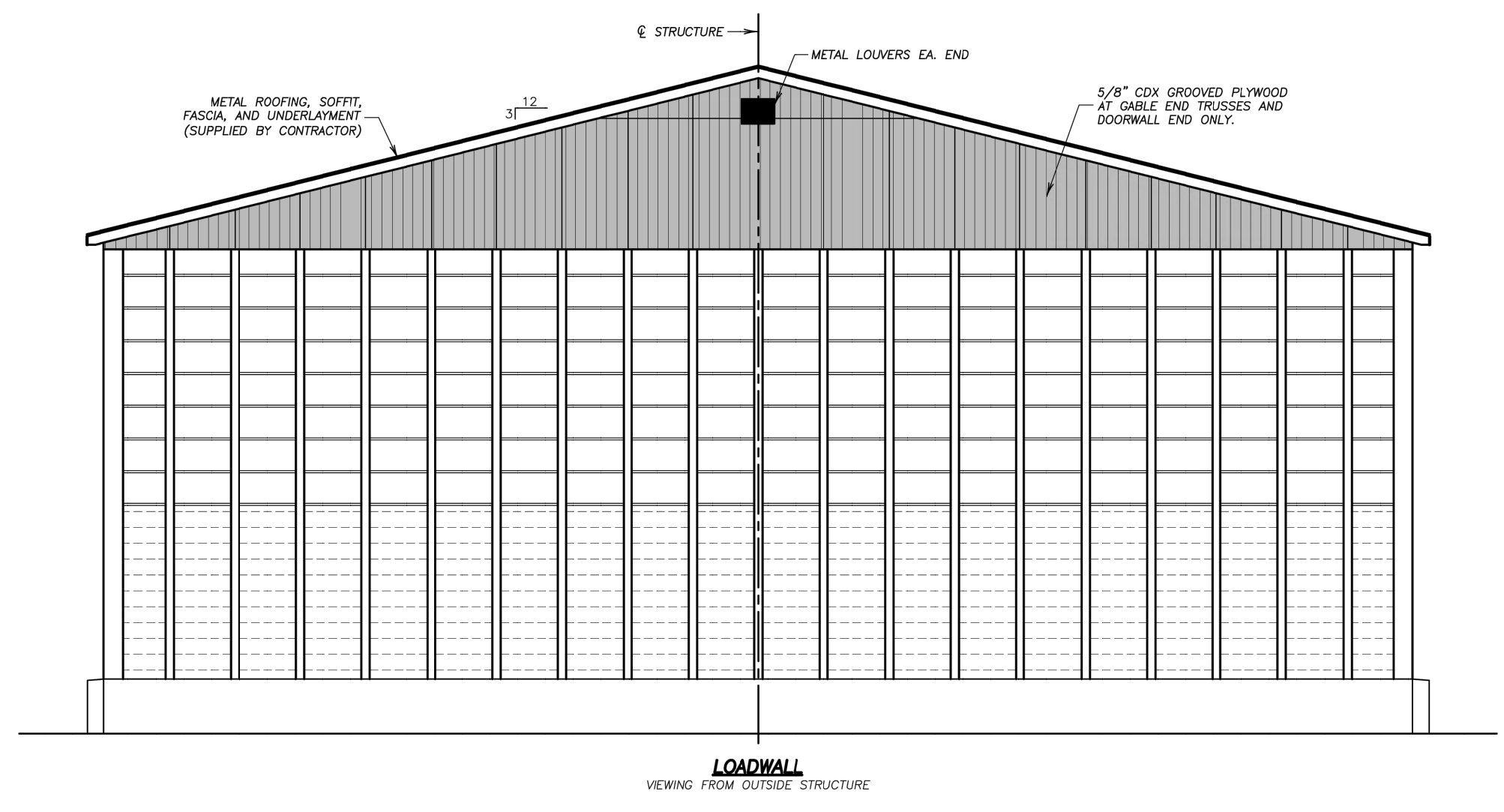
VILAS COUNTY, WI
EAGLE RIVER
SALT STORAGE BUILDING
92'L X 80'W X 30'H



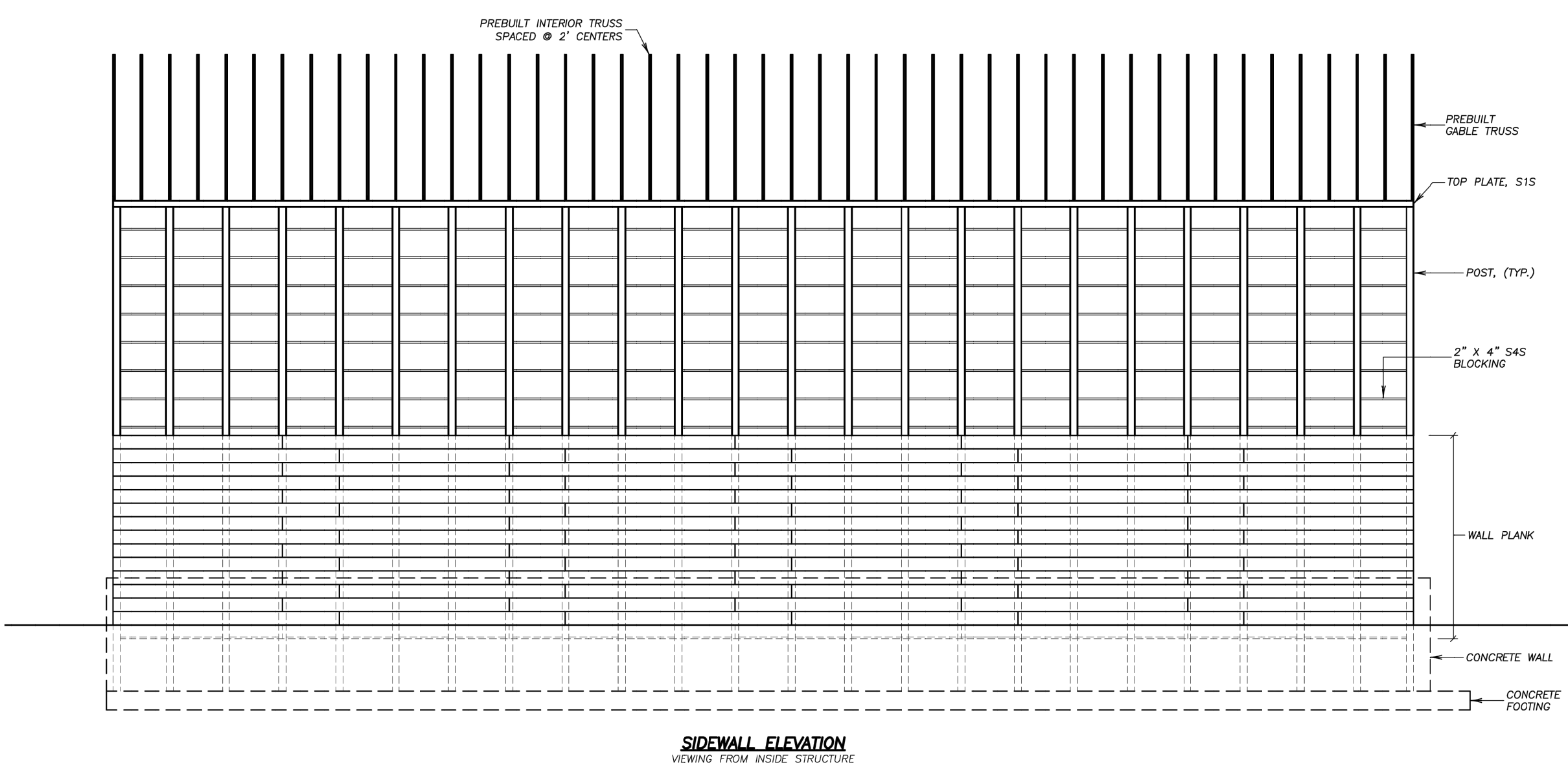
9531 W. 78th St., Ste. 100 Eden Prairie, MN 55344 952-929-7854 info@wheeler1892.com wheeler1892.com	DWN.: WEH CHK.: JBS DATE: 10/31/24	TRACKING# T24254 SHEET NO. 1
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9531 W. 78th St., Ste. 100 Eden Prairie, MN 55344 952-929-7854 info@wheeler1892.com wheeler1892.com	DWN.: WEH CHK.: JBS DATE: 10/31/24	TRACKING# T24254 SHEET NO. 2
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9531 W. 78th St., Ste. 100 Eden Prairie, MN 55344 952-929-7854 info@wheeler1892.com wheeler1892.com	DWN.: WEH CHK.: JBS DATE: 10/31/24	TRACKING# T24254 SHEET NO. 3
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9531 W. 78th St., Ste. 100 Eden Prairie, MN 55344 952-929-7854 info@wheeler1892.com wheeler1892.com	DWN.: WEH CHK.: JBS DATE: 10/31/24	TRACKING# T24254 SHEET NO. 4
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A SALT SHED - 60'X40' BUILDING (EXAMPLE)
SCALE: 1" = 1'

THE SIGMA GROUP
Single Source. Sound Solutions.
www.thesigmagroup.com
1300 West Canal Street
Milwaukee, WI 53233
Phone: 414-643-4200
Fax: 414-643-4210

WHITEFISH BAY DPW
5111 N. LYDELL AVENUE
GLENDALE, WI

DETAILS

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUANCE DATE

NO. REVISION DATE

PROJECT NO:	22059
DESIGN DATE:	----
PLOT DATE:	2025.04.29
DRAWN BY:	----
CHECKED BY:	----
APPROVED BY:	----
SHEET NO:	C402

PLAN NOTES

- 1 NEW MANDOOK, DOOR FRAME, AND HARDWARE. PREP AND PAINT DOOR.
- 2 NEW OVERHEAD DOOR, FRAME, AND HARDWARE. PREFINISHED, WHITE.
- 3 REPLACE DAMAGED STEEL LINTELS AT MANDOOKS AND OVERHEAD DOORS AT TIME OF DOOR REPLACEMENT.
- 4 TUCKPOINT BRICK AND CMU WALLS THROUGHOUT BUILDING ENVELOPE. REPAIR CMU WALLS, AS NECESSARY. CONTRACTOR TO VERIFY LOCATIONS AND EXTENTS OF TUCKPOINTING AND INDICATE QUANTITIES IN BID. SEE ELEVATIONS.
- 5 PAINT EXTERIOR CMU WALLS THROUGHOUT BUILDING ENVELOPE.
- 6 ADD NEW FIRE ALARMS AND FIRE SUPPRESSION SYSTEM THROUGHOUT BUILDING.
- 7 ADD NEW 8" CMU BACKUP WALL WITH 4" BRICK VENEER TO MATCH EXISTING, WITH 12" CMU FOUNDATION WALL & 36" WIDE STRIP FOOTINGS TO 4' BELOW GRADE.
- 8 ADD NEW ROOF LADDER WITH CAGE TO MEET OSHA REQUIREMENTS.
- 9 INFILL EXTERIOR OPENINGS WHERE DOORS HAVE BEEN REMOVED WITH REINFORCED CMU TO MATCH WALL THICKNESS.
- 10 PREP & PAINT CORRODING METAL DECK ON UNDERSIDE OF ROOF TO MATCH.
- 11 REMOVE AND REPLACE CRACKING CONCRETE SLAB THROUGHOUT BUILDING.
- 12 NEW 60 MIL EPDM ROOF MEMBRANE WITH NEW BOOTS AND METAL FLASHING. REPAIR/REPLACE DAMAGED METAL ROOF DECK, AS REQUIRED (SEE PLAN NOTE 10). REPLACE DETERIORATED OR DAMAGED INSULATION AND SUPPLEMENT EXISTING WITH NEW TO ACHIEVE A MINIMUM R-VALUE OF R-25. ADD TAPERED INSULATION TO ENSURE POSITIVE DRAINAGE TO ROOF DRAINS (1/4" / FOOT).
- 13 PREP AND PAINT ALL INTERIOR WALLS FROM FLOOR TO CEILING DECK.
- 14 ADD VENTILATION THROUGHOUT BUILDING.

DEMO NOTES

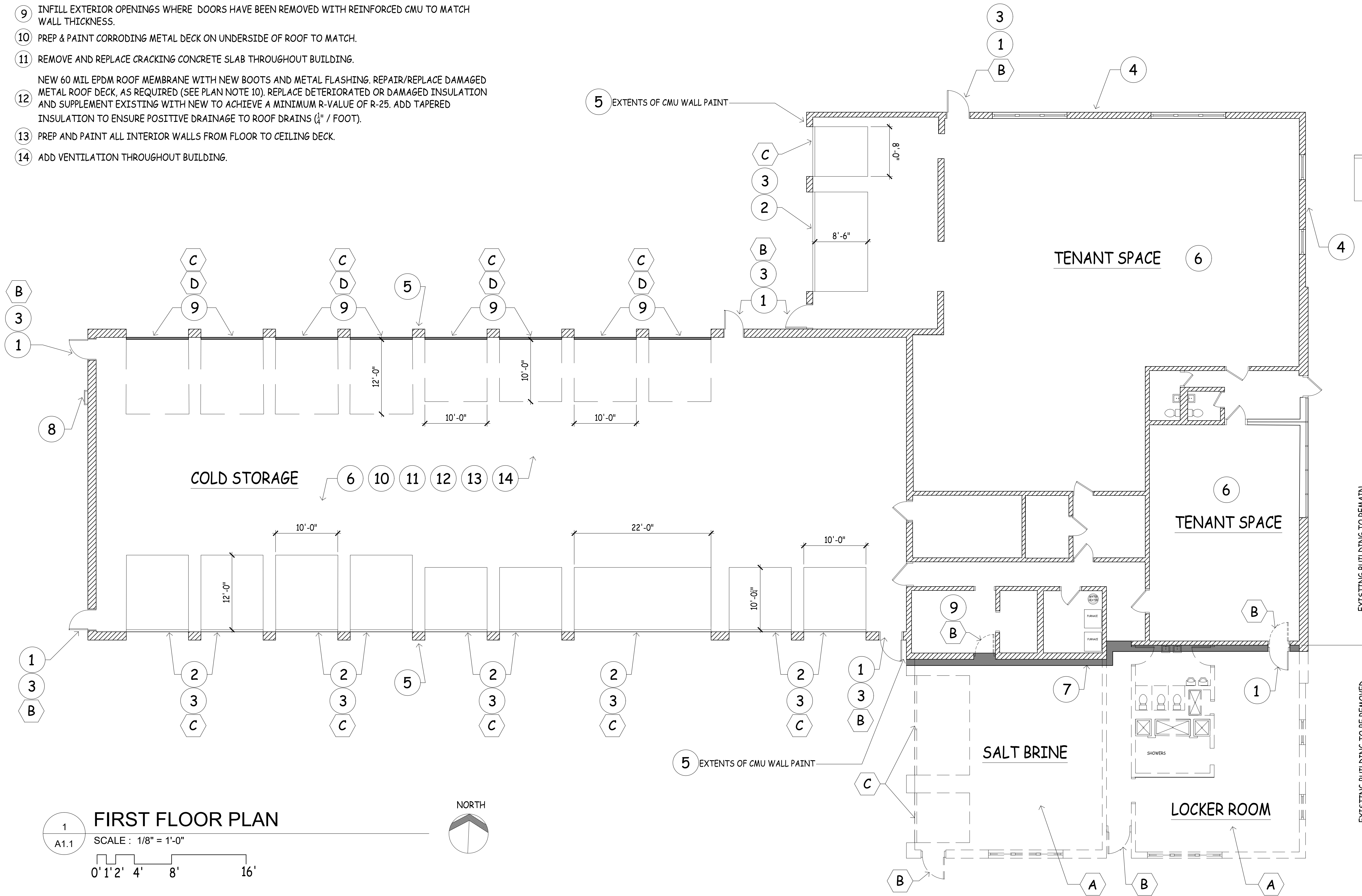
- A SALT BRINE GARAGE AND LOCKER ROOM TO BE DEMOLISHED IN IT'S ENTIRETY. REMOVE STRUCTURE, CONCRETE FLOOR SLAB FOUNDATION, AND FOOTING IN THEIR ENTIRETY.
- B REMOVE EXISTING MANDOOK, FRAME, AND HARDWARE.
- C REMOVE EXISTING OVERHEAD DOOR, FRAME, AND HARDWARE.
- D REMOVE EXISTING DAMAGED STEEL LINTEL AT OVERHEAD DOORS AND REPLACE WITH CMU AT TIME OF WALL INFILL.

GENERAL NOTES

- 1. VERIFY DIMENSIONS AND CONDITIONS PRIOR TO PRICING OR PROCEEDING WITH WORK.
- 2. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING AND/OR PREPARING ALL SURFACES TO RECEIVE NEW FINISHES AS INDICATED ON THE DRAWINGS.
- 4. FACILITY WILL REMAIN OPERATIONAL THROUGH DURATION OF THE PROJECT. CONTRACTOR SHALL INCLUDE PROVISIONS FOR CONSTRUCTION PHASING. THIS SHALL INCLUDE TEMPORARY CONSTRUCTION BARRIERS AND PROVIDING AMPLE NOTICE TO OWNER AND TENANT IF AREAS WILL NEED TO BE CLOSED.
- 5. THE CONTRACTOR SHALL INCLUDE PRICING FOR ALL SUBCONTRACTED WORK. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE DEMOLITION WORK OF ALL OBSOLETE AND/OR ABANDONED MATERIALS OR EQUIPMENT.

LEGEND

- NEW WALL
- EXISTING DOOR AND WALL OR OTHER CONSTRUCTION TO BE REMOVED
- EXISTING DOOR AND WALL TO REMAIN
- EXISTING DOOR TO REMAIN
- NEW 3'-0" x 7'-0" DOOR, FRAME, AND HARDWARE
- EXISTING DOOR AND FRAME TO BE REMOVED
- OVERHEAD DOOR TO BE REPLACED
- TOILET
- SINK
- URINAL
- FLOOR DRAIN (SHOWER OR SLOP SINK)
- WATER HEATER



FIRST FLOOR PLAN
 SCALE : 1/8" = 1'-0"
 NORTH

THE SIGMA GROUP
 Single Source. Sound Solutions.
 www.thesigmagroup.com
 1300 West Canal Street
 Milwaukee, WI 53233
 Phone: 414-643-4200
 Fax: 414-643-4210

WHITEFISH BAY DEPARTMENT OF PUBLIC WORKS
 5111 N LYDELL AVE
 GLENDALE, WI 53217

FIRST FLOOR PLAN

PRELIMINARY DRAFT

ISSUANCE	DATE
Preliminary Drawings	2024.12.19
Preliminary Owner Review	2025.04.21

NO. REVISION	DATE

SCALE:	
PROJECT NO:	22059
DESIGN DATE:	2025.2.7
PLOT DATE:	2025.04.21
DRAWN BY:	CTD
CHECKED BY:	AAG
APPROVED BY:	RJG
SHEET NO:	A1.1

PLAN NOTES

- 1 NEW MANDOOK, DOOR FRAME, AND HARDWARE. PREP AND PAINT DOOR.
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DEMO NOTES

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- B REMOVE EXISTING MANDOOK, FRAME, AND HARDWARE.
- C REMOVE EXISTING OVERHEAD DOOR, FRAME, AND HARDWARE.
- D REMOVE EXISTING DAMAGED STEEL LINTEL AT OVERHEAD DOORS AND REPLACE WITH CMU AT TIME OF WALL INFILL.

GENERAL NOTES

- 1. VERIFY DIMENSIONS AND CONDITIONS PRIOR TO PRICING OR PROCEEDING WITH WORK.
- 2. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING AND/OR PREPARING ALL SURFACES TO RECEIVE NEW FINISHES AS INDICATED ON THE DRAWINGS.
- 4. FACILITY WILL REMAIN OPERATIONAL THROUGH DURATION OF THE PROJECT. CONTRACTOR SHALL INCLUDE PROVISIONS FOR CONSTRUCTION PHASING. THIS SHALL INCLUDE TEMPORARY CONSTRUCTION BARRIERS AND PROVIDING AMPLE NOTICE TO OWNER AND TENANT IF AREAS WILL NEED TO BE CLOSED.
- 5. THE CONTRACTOR SHALL INCLUDE PRICING FOR ALL SUBCONTRACTED WORK. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE DEMOLITION WORK OF ALL OBSOLETE AND/OR ABANDONED MATERIALS OR EQUIPMENT.

WHITEFISH BAY DEPARTMENT OF PUBLIC WORKS
 5111 N LYDELL AVE
 GLENDALE, WI 53217
 NORTH AND SOUTH BUILDING ELEVATIONS

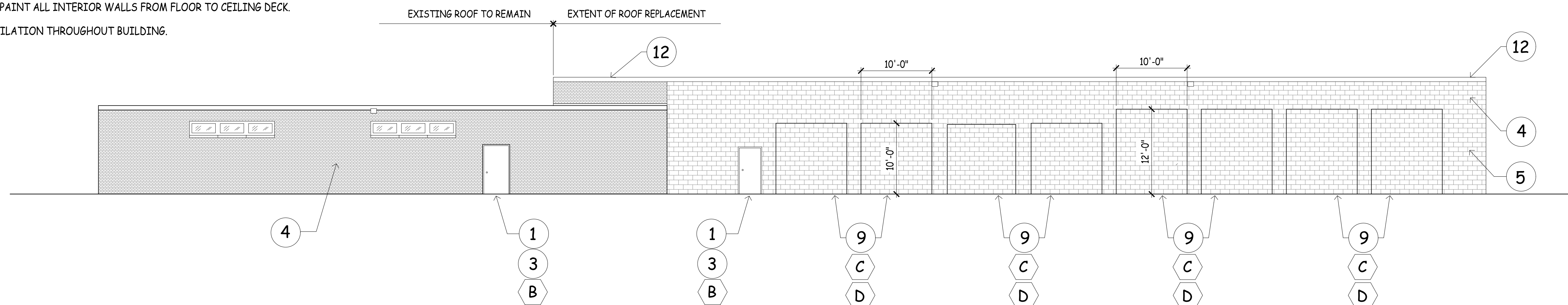
PRELIMINARY DRAFT

ISSUANCE	DATE
Preliminary Drawings	2024.12.19
Preliminary Owner Review	2025.04.21

NO. REVISION	DATE

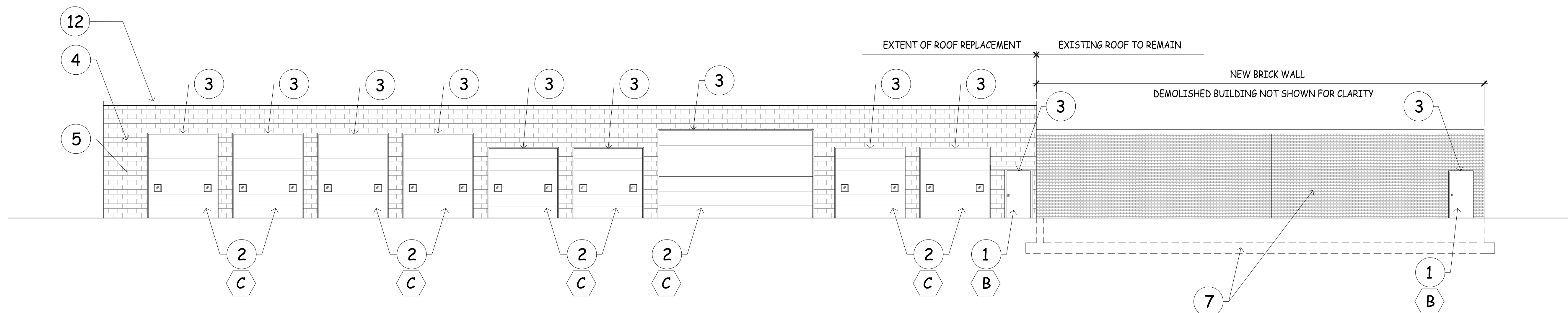
SCALE:	
PROJECT NO:	22059
DESIGN DATE:	2025.2.7
PLOT DATE:	2025.04.21
DRAWN BY:	CTD
CHECKED BY:	AAG
APPROVED BY:	RJG
SHEET NO:	

A2.1



1 NORTH ELEVATION

A2.1 SCALE : 1/8" = 1'-0"
 0' 1' 2' 4' 8' 16'



2 SOUTH ELEVATION

A2.1 SCALE : 1/8" = 1'-0"
 0' 1' 2' 4' 8' 16'

PLAN NOTES

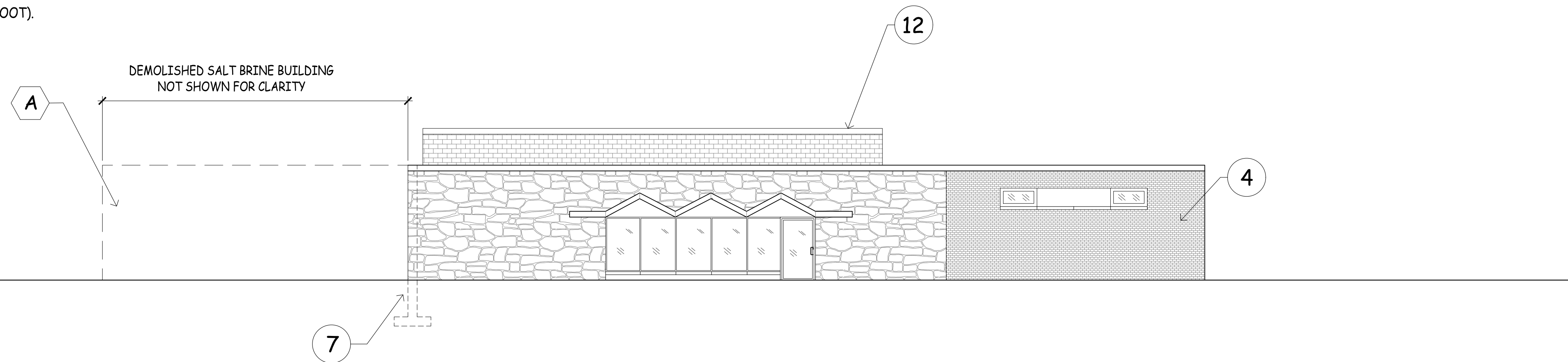
- 1 NEW MANDOOR, DOOR FRAME, AND HARDWARE. PREP AND PAINT DOOR.
 - 2 NEW OVERHEAD DOOR, FRAME, AND HARDWARE. PREFINISHED, WHITE.
 - 3 REPLACE DAMAGED STEEL LINTELS AT MANDOORS AND OVERHEAD DOORS AT TIME OF DOOR REPLACEMENT.
 - 4 TUCKPOINT BRICK AND CMU WALLS THROUGHOUT BUILDING ENVELOPE. REPAIR CMU WALLS, AS NECESSARY. CONTRACTOR TO VERIFY LOCATIONS AND EXTENTS OF TUCKPOINTING AND INDICATE QUANTITIES IN BID. SEE ELEVATIONS.
 - 5 PAINT EXTERIOR CMU WALLS THROUGHOUT BUILDING ENVELOPE.
 - 6 ADD NEW FIRE ALARMS AND FIRE SUPPRESSION SYSTEM THROUGHOUT BUILDING.
 - 7 ADD NEW 8" CMU BACKUP WALL WITH 4" BRICK VENEER TO MATCH EXISTING, WITH 12" CMU FOUNDATION WALL & 36" WIDE STRIP FOOTINGS TO 4' BELOW GRADE.
 - 8 ADD NEW ROOF LADDER WITH CAGE TO MEET OSHA REQUIREMENTS.
 - 9 INFILL EXTERIOR OPENINGS WHERE DOORS HAVE BEEN REMOVED WITH REINFORCED CMU TO MATCH WALL THICKNESS.
 - 10 PREP & PAINT CORRODING METAL DECK ON UNDERSIDE OF ROOF TO MATCH.
 - 11 REMOVE AND REPLACE CRACKING CONCRETE SLAB THROUGHOUT BUILDING.
- NEW 60 MIL EPDM ROOF MEMBRANE WITH NEW BOOTS AND METAL FLASHING. REPAIR/REPLACE DAMAGED METAL ROOF DECK, AS REQUIRED (SEE PLAN NOTE 10). REPLACE DETERIORATED OR DAMAGED INSULATION AND SUPPLEMENT EXISTING WITH NEW TO ACHIEVE A MINIMUM R-VALUE OF R-25. ADD TAPERED INSULATION TO ENSURE POSITIVE DRAINAGE TO ROOF DRAINS (1/4" / FOOT).
- 12 PREP AND PAINT ALL INTERIOR WALLS FROM FLOOR TO CEILING DECK.
 - 14 ADD VENTILATION THROUGHOUT BUILDING.

DEMO NOTES

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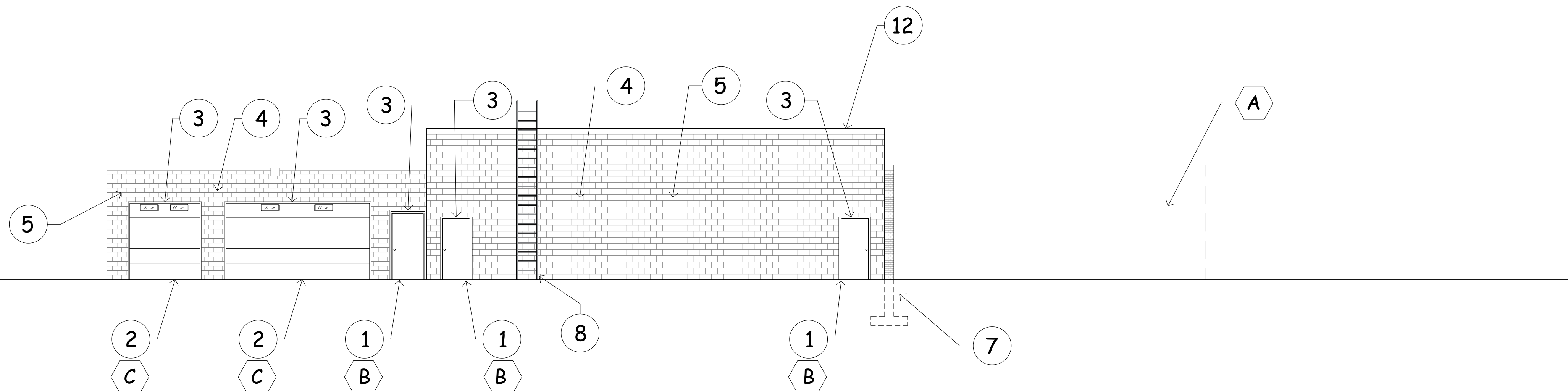
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1 EAST ELEVATION

A2.2 SCALE : 1/8" = 1'-0"
 0' 1' 2' 4' 8' 16'



2 WEST ELEVATION

A2.2 SCALE : 1/8" = 1'-0"
 0' 1' 2' 4' 8' 16'

WHITEFISH BAY DEPARTMENT OF PUBLIC WORKS
 5111 N LYDELL AVE
 GLENDALE, WI 53217
 EAST AND WEST BUILDING ELEVATIONS

PRELIMINARY DRAFT

ISSUANCE	DATE
Preliminary Drawings	2024.12.19
Preliminary Owner Review	2025.04.21

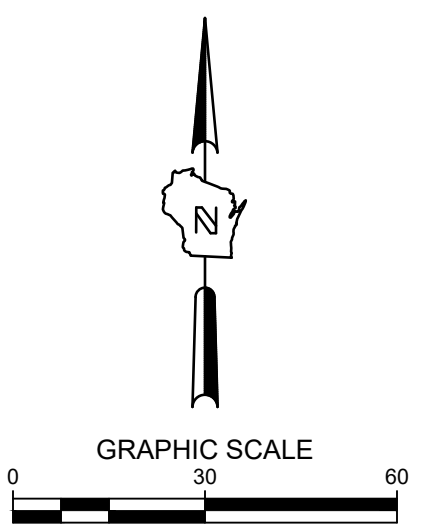
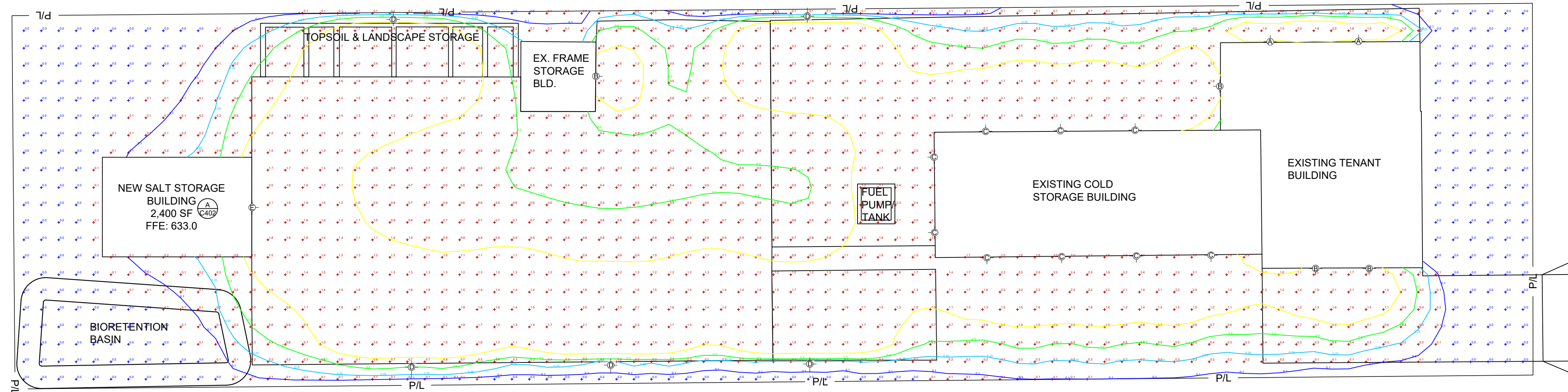
NO. REVISION	DATE

SCALE:	
PROJECT NO:	22059
DESIGN DATE:	2025.2.7
PLOT DATE:	2025.04.21
DRAWN BY:	CTD
CHECKED BY:	AAG
APPROVED BY:	RJG
SHEET NO:	

A2.2

Label	Catalog Number	Description	Lamp	Lamp Lumens	Mount Height	Watts
A	WDGE2 LED P0 40K 70CRI T1S	WDGE2 LED WITH P0 - PERFORMANCE PACKAGE TYPE 1 SHORT OPTIC	40K 70CRI	789.1	10FT	6.9
B	WDGE2 LED P1 40K 70CRI TFTM	WDGE2 LED WITH P1 - PERFORMANCE PACKAGE TYPE FORWARD THROW MEDIUM OPTIC	40K 70CRI	1405.3	12FT	11.2
C	WDGE2 LED P2 40K 70CRI TFTM	WDGE2 LED WITH P2 - PERFORMANCE PACKAGE TYPE FORWARD THROW MEDIUM OPTIC	40K 70CRI	2291.3	12FT	19
D	DSK1 LED P2 40K 70CRI BLC4 EGS	D-Series Size 1 Area Luminaire P2 Performance Package Type 4 Extreme Backlight Control External Glare Shield	40K CCT 70CRI	6749.5	20FT	67.8
E	WDGE3 LED P1 70CRI RFT 40K	WDGE3 LED WITH P1 - PERFORMANCE PACKAGE FORWARD THROW OPTIC	40K 70CRI	7591.8	30FT	51.2

- 0.1 Minimum: 0.2FC
- 0.25 Maximum: 2.7FC
- 0.5 Average: 1.3FC
- 1
- 3



**WHITEFISH BAY DPW
 5111 N. LYDELL AVENUE
 WHITEFISH BAY, WI
 LIGHTING PLAN**

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

ISSUANCE	DATE

NO. REVISION	DATE

PROJECT NO:	22059
DESIGN DATE:	---
PLOT DATE:	2025.04.23
DRAWN BY:	---
CHECKED BY:	---
APPROVED BY:	---

SHEET NO:

LT-100



CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 MS STATUTE 182.01(2)(b)
 REQUIRES MIN. 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE
 MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

Exhibit #2

Detailed Preliminary Opinion of Probable Construction Cost Village of Whitefish Bay Public Works Facility Building Remodel 5111 N. Lydell Avenue

Phase II environmental assessment with soil analysis	\$ 50,000
New water service extension to building (with pavement, curb, sidewalk and landscaping repair)	\$ 30,000
Storm sewer system drainage	\$ 50,000
Grading / asphalt and concrete lot paving	\$ 225,000
Driveway entrance	\$ 30,000
Fueling Station (2 above ground tanks, containment, dispensing system, concrete pad)	\$ 70,000
Stackable concrete blocks for material storage (non-structural)	\$ 25,000
Stormwater Management Basin (clay lined)	\$ 35,000
Salt Storage Facility (asphalt paved)	\$ 500,000
Salt Brine Storage Tank System (no building, brine storage only)	\$ 40,000
Demo and Building Remodel	\$ 850,000
Site lighting	\$ 25,000
Miscellaneous improvements (Black dirt storage facility work, landscaping)	\$ 20,000
Fencing Upgrade	\$ 15,000
Subtotal	\$1,920,000
<u>Design Engineering (8%) and Contingencies (10%)</u>	<u>\$ 345,000</u>
Preliminary Opinion of Probable Construction Cost	\$2,265,000

Note:

1. Site soil remediation costs are unknown at this time and are not included in this estimate.
2. Optional Heated Brine-Making Building with footings \$ 150,000

Exhibit 3

Salt Storage Facility Photographs
Village of Whitefish Bay Public Works Facility Building Remodel
5111 N. Lydell Avenue



Exhibit 3

Salt Storage Facility Photographs
Village of Whitefish Bay Public Works Facility Building Remodel
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Salt Storage Facility Photographs
Village of Whitefish Bay Public Works Facility Building Remodel
5111 N. Lydell Avenue

